

**BEFORE THE DISTRICT OF COLUMBIA
BOARD OF ZONING ADJUSTMENT**

**APPLICATION OF
2805 M STREET, LLC**

ANC2E06

STATEMENT OF THE APPLICANT

I. NATURE OF RELIEF SOUGHT

This statement is submitted on behalf of the Applicant, 2805 M STREET, LLC (the “Applicant”), the owner of the property located at 2805 M Street NW (Square 1212, Lot 0201) (the “Property”), in support of its application for special exception relief from the requirements for a fifteen foot rear yard under DCMR Subtitle G § 405.2 in connection with the construction of stairs leading to the second floor of an existing building at the Property.

II. JURISDICTION OF THE BOARD

The Board of Zoning Adjustment (the “Board”) has jurisdiction to grant the special exception relief requested herein pursuant to Subtitle X § 901.2 of the Zoning Regulations.

III. BACKGROUND

A. The Property and the Surrounding Neighborhood

The Property is in the MU-4 Zone District with a lot area of 5,130 sq. ft. A copy of the zoning map is attached at **Tab A**. The Property is a rectilinear lot located at the northwest corner of the intersection of 28th Street, NW and M Street, NW. A copy of the Baist Map is attached at **Tab B**. As shown on the plans attached at **Tab C**, the Property is currently improved with a three story structure (the “Building”). The Applicant proposes to renovate the Building, which renovation will include the construction of an exterior rear stair leading to the second floor (the “Repairs”) as described in more detail below and as shown in the drawings on A010 (showing the existing conditions) and A201 (showing the Repairs). The Repairs will require special exception

relief. However, as shown in the Existing First Floor Plan on Drawing No. A0006 in **Tab C**, the Property is already non-conforming under the rear yard requirement set forth in Subtitle G § 405.2 as the rear yard has a setback of four (4) foot three (3) inches at the point closest to the property line rather than the fifteen (15) feet required under the Zoning Regulations.¹

The Property is located at the eastern edge of Georgetown along a commercial stretch of M Street, NW, with the façade of the Building on M Street, NW (facing south). The adjacent property along M Street, NW, 2807 M Street, NW, was most recently home to Bibibop: Asian Grill. Other restaurant and retail uses are located further along M Street, NW, including the Four Seasons Hotel, located directly across the street. The rear of the Property is adjacent to 1210 28th Street, NW, a row house in the MU-4 Zone. Properties along N Street, NW are home to restaurants, residences and offices. Restaurants and the Qatar Defense Attaché are located across N Street, NW from the Property. The Property is individually identified as historic (recognized as the Sims House, 2803 M Street) and is part of the Georgetown Historic District.

B. Traffic Conditions and Mass Transit

The Property has good public transportation options. There are several bus stops within two to three blocks of the Property, serving bus lines 30N, 30S, 31, 33, 38B, D5. There are three Capital Bikeshare stations within approximately .4 miles of the Property, including one in the median of M Street, NW adjacent to the Property. In general, the area is pedestrian-friendly, as Walkscore.com rates the Property as a “Walker’s Paradise.”

C. The Repairs

¹ As noted throughout the application the property abuts what is referenced as an alley, but it is not confirmed as a public alley as defined in Subtitle B § 1002. of the Zoning Regulations as we cannot confirm if it is recorded at the Office of the Surveyor of the District of Columbia. Out of an abundance of caution we are taking the measurement from the property line and not the alley pursuant Subtitle G § 405.5(b).

The Applicant proposes to construct a staircase at the rear of the Property for exterior access to the second floor of the Building. The Repairs are part of a larger series of renovations to improve and restore the Building following a car crash that badly damaged the 28th Street elevation, adjacent to the proposed site of the Repairs, in January, 2019. Following the crash the Applicant prepared plans for a restoration of the exterior and a renovation of the interior that have since passed the scrutiny of the Historic Preservation Review Board and the Old Georgetown Board. A copy of the architectural plans are attached at **Tab C**. It was only upon filing for permits that the Applicant realized that a permanent replacement for a stair that already exists at the Property requires zoning relief.

The Repairs will meet all of the development standards in the MU-4 Zone with the exception that the Building will continue to not meet the MU-4 rear yard requirement as the construction of the Code-compliant Repairs will involve the reduction of the rear yard to one (1) foot along sixteen (16) feet eight and one half (8.5) inches at the point closest to the property line, as more fully shown in Drawing A104 of **Tab C**.

IV. NATURE OF SPECIAL EXCEPTION RELIEF SOUGHT AND STANDARD OF REVIEW

The Applicant requests special exception relief from the rear yard requirement as a staircase cannot be built at the rear of the Property in the MU-4 Zone without meeting the criteria for special exception relief as set forth in Subtitle G § 409.1. As the Repairs meet the special exception standards in Subtitle X § 901.2 and are not subject to the provisions and limitations of Subtitle G § 1201.1 *et. seq*, as more fully explained below, the Applicant's request for relief should be granted.

Pursuant to D.C. Code § 6-641.07(g)(2) and 11 DCMR Subtitle X § 901.2, the Board is authorized to grant a special exception where it finds the special exception:

- (1) Will be in harmony with the general purpose and intent of the Zoning Regulations and Zoning Maps;
- (2) Will not tend to affect adversely, the use of neighboring property in accordance with the Zoning Regulations and Zoning Maps; and
- (3) Subject in specific cases to special conditions specified in the Zoning Regulations. 11 DCMR Subtitle X § 901.2.

Relief granted through a special exception is presumed appropriate, reasonable, and compatible with other uses in the same zoning classification, provided the specific requirements for the relief are met. In reviewing an application for special exception relief, “[t]he Board’s discretion . . . is limited to a determination of whether the exception sought meets the requirements of the regulation.” *First Baptist Church of Wash. v. District of Columbia Bd. of Zoning Adjustment*, 432 A.2d 695, 701 (D.C. 1981) (quoting *Stewart v. District of Columbia Bd. of Zoning Adjustment*, 305 A.2d 516, 518 (D.C. 1973)). If an applicant meets its burden, the Board must ordinarily grant the application. *Id.*

V. APPLICANT MEETS BURDEN FOR SPECIAL EXCEPTION RELIEF

A. The Relief is Harmonious with the General Purpose and Intent of the Zoning Regulations and Maps

The special exception relief will be in harmony with the purpose and intent of the Zoning Regulations and related maps. The Property is located in the MU-4 Zone, a mixed-used zone intended to be applied throughout the city consistent with the density designation of the Comprehensive Plan. The purpose of that Zone is to: (a) [p]ermit moderate-density mixed-use development; (b) [p]rovide facilities for shopping and business needs, housing, and mixed uses for large segments of the District of Columbia outside of the central core; and (c) [b]e located in low- and moderate-density residential areas with access to main roadways or rapid transit stops, and include office employment centers, shopping centers, and moderate bulk mixed-use centers. *See* Subtitle G § 400.3.

The Repairs are compatible with the purpose of the MU-4 Zone as they will permit office, retail and gym/exercise studio uses within an existing historic three-story building, exactly the kind of “moderate-density mixed use development” envisioned by the special exception standard. Subtitle G § 400.3(a). The Repairs are necessary in order to accommodate multiple uses at the Building and to provide tenants with disparate expectations and requirements for ingress and egress. The Repairs will permit two of the three explicitly identified uses (shopping and business needs) in Subtitle G § 400.3(b). Finally, the Property is located on a high-traffic mixed-use corridor at the entrance to Georgetown, adjacent to a number of high-frequency bus routes. Subtitle G § 400.3(c). Accordingly, the requested relief is harmonious with the purpose and intent of the Zoning Regulations.

B. The Relief will not tend to Adversely Affect the Use of Neighboring Property

The Repairs will not adversely affect adjacent properties. The adjacent properties are 2809 M Street, NW (the “2809 Property”) and 1210 28th Street, NW (the “1210 Property”). The 2809 Property also faces M Street, NW with primary ingress and egress from M Street, NW. The Repairs will be located entirely on the Property and will not impede access to the 2809 Property through the open setback running between the Property and the 1210 Property. Like the entrance to the 1210 Property, the Repairs will serve as a raised entrance to an existing Building. While the Repairs will be visible from the 1210 Property, they will be shorter than the existing height of the Property and their open design will have a de minimis effect on light and air’s ability to reach the 1210 Property.

C. The Repairs Satisfy the Special Conditions of Subtitle G § 1201.1 *et. seq.*

In addition to the general special exception standard, relief from the rear yard requirements shall be provided if the proposal meets the provisions of Subtitle G § 1201.1 *et. seq.*. The applicable provisions are as follows:

1. *No apartment window shall be located within forty feet (40 ft.) directly in front of another building. Subtitle G § 1201.1(a)*

The Building will exclusively be used for office, retail and mercantile uses, so this section does not apply to the Repairs.

2. *No office window shall be located within thirty feet (30 ft.) directly in front of another office window, nor eighteen feet (18 ft.) in front of a blank wall. Subtitle G § 1201.1(b)*

The Building envelope is being restored to its historic appearance with no change in fenestration. The rear yard relief requested will not alter any fenestration.

3. *In buildings that are not parallel to the adjacent buildings, the angle of sight lines and the distance of penetration of sight lines into habitable rooms shall be considered in determining distances between windows and appropriate yards. Subtitle G § 1201.1(c)*

The sight lines of the Building are not changing as a result of the Repairs. The Repairs will provide a secondary stair with a limited use.

4. *Provision shall be included for service functions, including parking and loading access and adequate loading areas. Subtitle G § 1201.1(d)*

The Repairs are a minor addition to the existing Building, the Building is not being altered, except to restore it to its historic appearance prior to the crash. There will therefore be no impact on parking or loading. Note that the change in use proposed by the renovations that includes the Repairs does not trigger parking minimums as the property is historic and an expansion is not part of the proposed renovations. *See* Subtitle C § 705.3. The Repairs

will therefore have no impact on the provision of required parking and loading at the Property.

5. *Upon receiving an application to waive rear yard requirements in the subject zone, the Board of Zoning Adjustment shall submit the application to the Office of Planning for coordination, review, report, and impact assessment, along with reviews in writing from all relevant District of Columbia departments and agencies, including the Department of Transportation, the District of Columbia Housing Authority and, if a historic district or historic landmark is involved, the Historic Preservation Office. Subtitle G § 1201.1(e)*

The Applicant has already appeared before and received approval from the Historic Preservation Review Board in Case No. HPA 19-073 and the Old Georgetown Board in Case No. OG 19-029. To the extent further cooperation is required, the Applicant will cooperate with and work alongside the Department of Transportation, the Historic Preservation Office and other District of Columbia departments and agencies having jurisdiction over the Property.

The conditions of Subtitle G § 1201.1 *et. seq.* which would prohibit a special exception for rear yard relief are broadly inapplicable to the Repairs, the Building and the Property. The existing and proposed uses for the Property and the existing uses at the 2809 Property, and the 1210 Property are all compatible with relief from the rear yard requirements. The Building's layout and size similarly make the Repairs an ideal candidate for rear yard relief.

VI. COMMUNITY OUTREACH

The Applicant will attend meetings of Advisory Neighborhood Commission (ANC) 2E06 to introduce the application and discuss the Repairs. The Applicant will formally present the application to ANC 2E06 at its next available public meeting.

VII. CONCLUSION

For the reasons stated above, the Repairs meet the applicable standards for special exception relief under the Zoning Regulations. Accordingly, the Applicant respectfully requests the Board grant the application.

Respectfully Submitted,

COZEN O'CONNOR

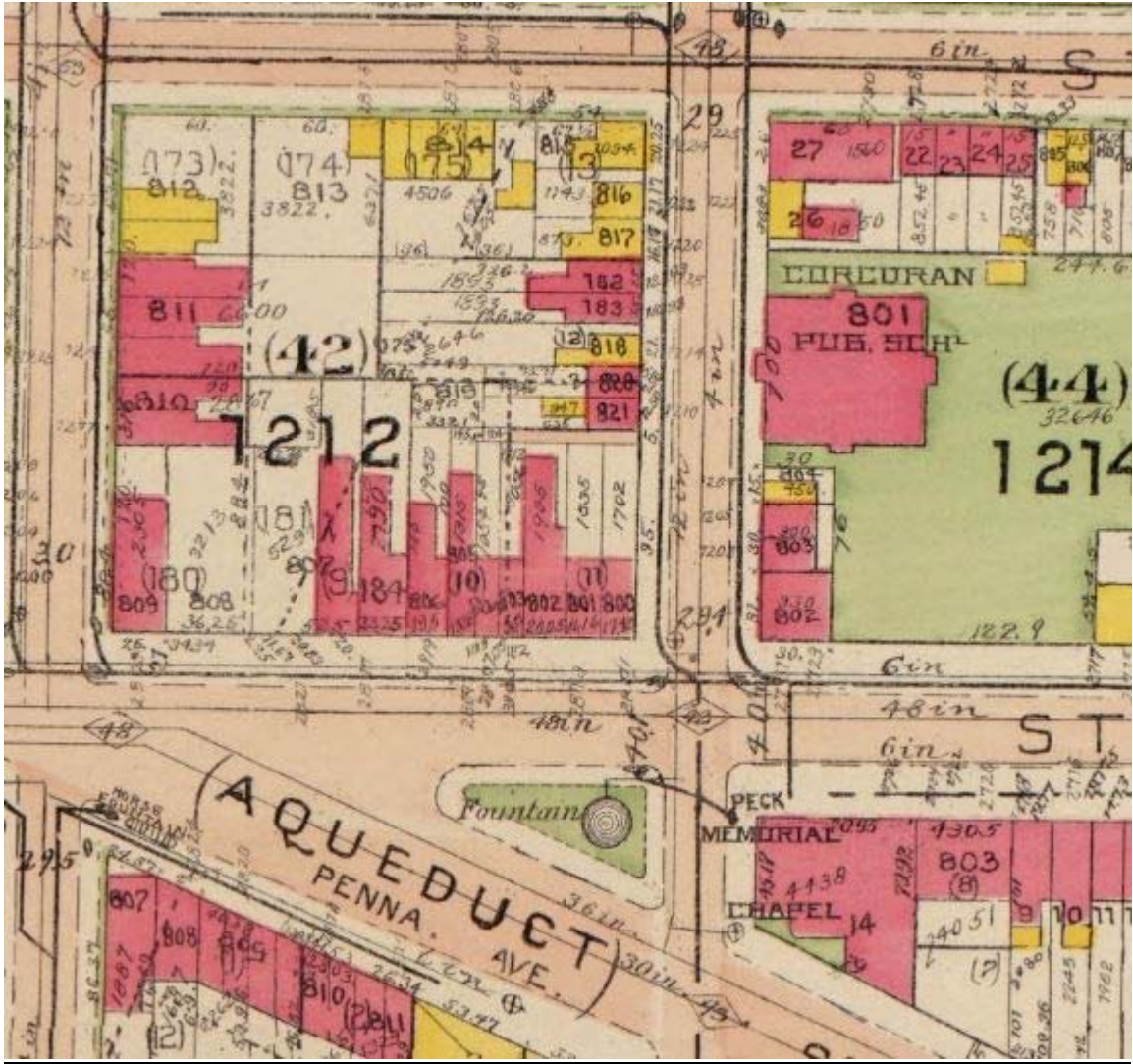


Meridith H. Moldenhauer
Harrison Haas
1200 19th Street NW
Washington, DC 20036

Tab A



Tab B



[1919 Baist Property Atlas]

Tab C

ALTERATIONS AND REPAIRS AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

BBGM Project Number 1123.00

BZA APPLICATION

02.09.2021

PROJECT NAME:
2805 M ST, NW
Washington, D.C., 20009

SCOPE OF WORK:

2805 M STREET, NW IS AN EXISTING HISTORIC BUILDING WHICH WAS PREVIOUSLY SUBDIVIDED TO INCLUDE THE PRIOR ADDRESSES OF 2801, 2803, AND 2805 M STREET, NW. IT IS A 3-STORY ABOVE-GRADE STRUCTURE WITH ONE FULL LEVEL BELOW GRADE (IN ADDITION TO LIMITED BELOW-GRADE MECHANICAL AREAS). THE BUILDING IS IN DISREPAIR, IN PART DUE TO RECENT VEHICULAR DAMAGE, AND REQUIRES IMPROVEMENTS TO THE INTERIOR AND EXTERIOR TO ENHANCE HISTORIC APPEAL. THE CURRENT SCOPE OF WORK WILL INVOLVE INTERIOR ALTERATIONS ON THE 2ND AND 3RD FLOORS ONLY AND WILL INCLUDE REPLACEMENT OF EXISTING PLUMBING FIXTURES AT RESTROOMS IN KIND; REPLACEMENT OF EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN KIND; REPLACEMENT OF MECHANICAL EQUIPMENT IN KIND; AND PROVIDING SECURITY ALARM UPGRADES. THE NEW EGRESS STAIR WILL BE INSTALLED (PER PRIOR CFA APPROVAL DATED 6/12/19).

BUILDING CODES - (Washington D.C.)

BUILDING- INTERNATIONAL EXISTING BUILDING CODE (IEBC) 2012
INTERNATIONAL BUILDING CODE (IBC) 2012
DC BUILDING CODE (DCBC) 2013
DCMR 12A BUILDING CODE SUPPLEMENT 2013
DC EXISTING BUILDING CODE 2013
DCMA 12J EXISTING BUILDING CODE 2013

MECHANICAL- INTERNATIONAL MECHANICAL CODE (IMC) 2012
DC MECHANICAL CODE 2013
DCMR 12E 2013 MECHANICAL CODE SUPPLEMENT

PLUMBING- INTERNATIONAL PLUMBING CODE (IPC) 2012 (REF. 12 DCMR F
DC PLUMBING CODE 2013
DCMR 12F 2013 PLUMBING CODE SUPPLEMENT

GAS- INTERNATIONAL FUEL GAS CODE (IFGC) 2012
DCMR 12D FUEL GAS CODE SUPPLEMENT

ELECTRICAL- NATIONAL ELECTRICAL CODE (NEC - NFPA 70, 2011 EDITION)
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 72 2010 EDITION
DC ELECTRICAL CODE 1013
DCMR 12C 2013 ELECTRICAL CODE SUPPLEMENT

ENERGY- INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012
GREEN CONSTRUCTION CODE SUPPLEMENT (GCC) 2012
DC ENERGY CONSERVATION CODE 2013
DCMR 12 2013 ENERGY CONSERVATION CODE SUPPLEMENT

FIRE PREVENTION- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 2012

LIFE SAFETY- LIFE SAFETY CODE (LSC) 101 2012

ACCESSIBILITY-2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
INTERNATIONAL BUILDING CODE (IBC) 2012
2009 ANSI A117.1
DCMR 12A BUILDING CODE SUPPLEMENT

ELEVATOR CODE- INTERNATIONAL BUILDING CODE (IBC) 2012
ASME A17.1/CSA B44

OTHER CODES-DC GREEN BUILDING ACT OF 2006
DC GREEN CONSTRUCTION CODE 2013
INTERNATIONAL GREEN CONSTRUCTION CODE 2012
DCMR 12K 2013 GREEN CONSTRUCTION CODE SUPPLEMENT
DC PROPERTY MAINTENANCE CODE 2013
INTERNATIONAL PROPERTY MAINTENANCE CODE 2012
DCMR 12G 2013 PROPERTY MAINTENANCE CODE SUPPLEMENT

ZONING

LOTS: 0201

SQUARE: 1212

ZONE: MU-4

HEIGHT: 32' - 6"

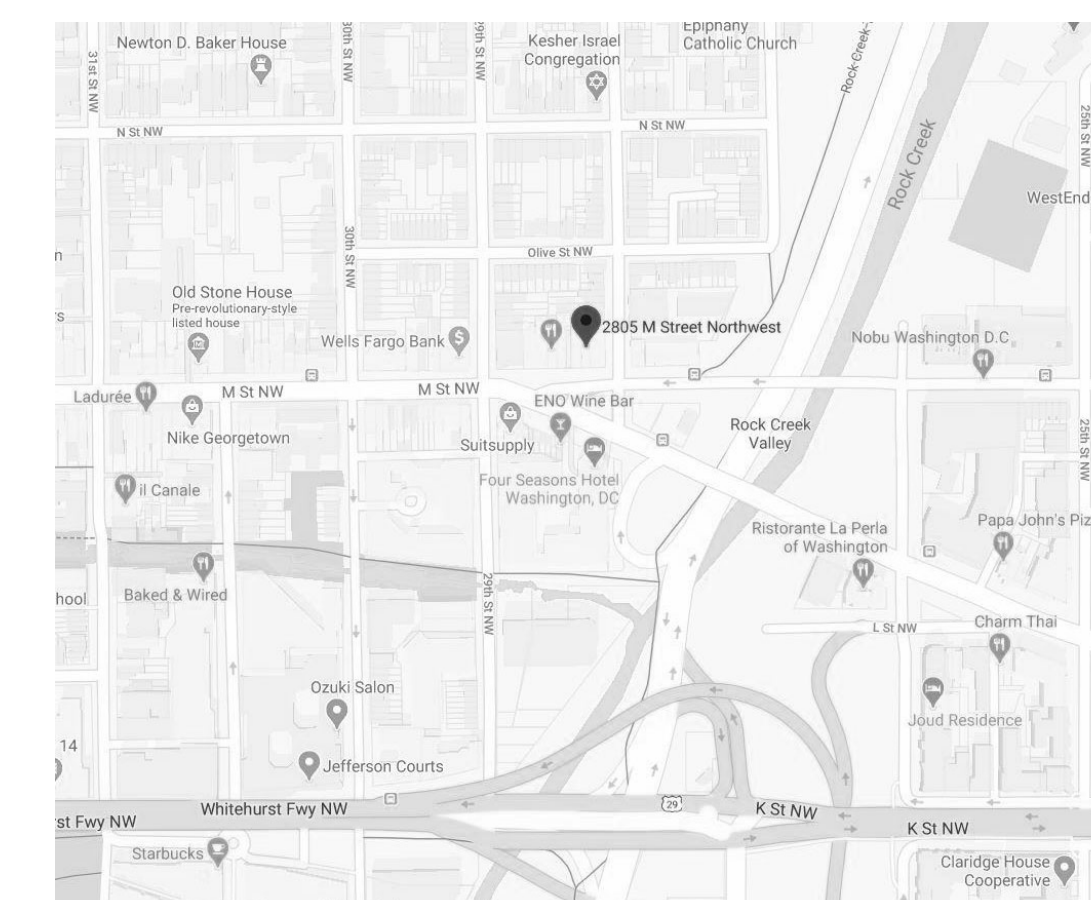
STORIES: 3 ABOVE GRADE + BASEMENT

SITE AREA: 5,130 SQ.FT.

HISTORIC: GEORGETOWN

USES: OFFICE/RETAIL

VICINITY MAP



USE GROUP:

B - OFFICE/RETAIL

M - MERCANTILE

CONSTRUCTION TYPE:

BUILDING - TYPE IIIb, NOT SPRINKLED

NUMBER OF STORIES: 3

HIGHRISE: NO

COVERED MALL: NO

FULLY SPRINKLERED & MONITORED: NO

FIRE ALARM SYSTEM: NO

ADA ACCESSIBILITY: NO

EMERGENCY POWER: NO

OCCUPANCY CALCULATION:
OCCUPANCY REMAINS UNCHANGED AS FLOOR AREAS AND OCCUPANCIES ARE UNCHANGED.

EGRESS LOADS:
THIS RENOVATION WILL NOT CHANGE THE EXISTING POPULATION LOADS AND EGRESS REQUIREMENTS OF THE BUILDING.

EXISTING BUILDING LEVEL OF ALTERATION:
LEVEL 2 ALTERATION - LEVEL 2 ALTERATIONS INCLUDE THE RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.
(IEBC2012 504.1)



WASHINGTON, DC

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STRUCTURAL:
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(301) 987-9234

Caitlin Mueller, PE
cmueller@structura-inc.com
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ABBREVIATIONS

Table of abbreviations for construction terms, including ANGLE, DEMO, DOUBLE, GAS, METER(S), RISER, UNDERCUT, etc.

INDEX OF DRAWINGS

Table listing drawing sheets (A001 to S202) and their corresponding titles (COVER SHEET, INDEX AND ABBREVIATION, SYMBOLS AND LEGENDS, etc.)

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

CONSULTANTS
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STRUCTURAL: STRUCTURAL INC.
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SUBMISSIONS

Table with columns: Date, Description. Entry: 02.09.2021 BZA APPLICATION

REVISIONS

Table with columns: No., Date, Description. Multiple empty rows for revisions.

BBGM logo and contact information: 1825 K Street NW Suite 300 Washington DC 20006

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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
2805 M STREET, NW
WASHINGTON, DC 2007

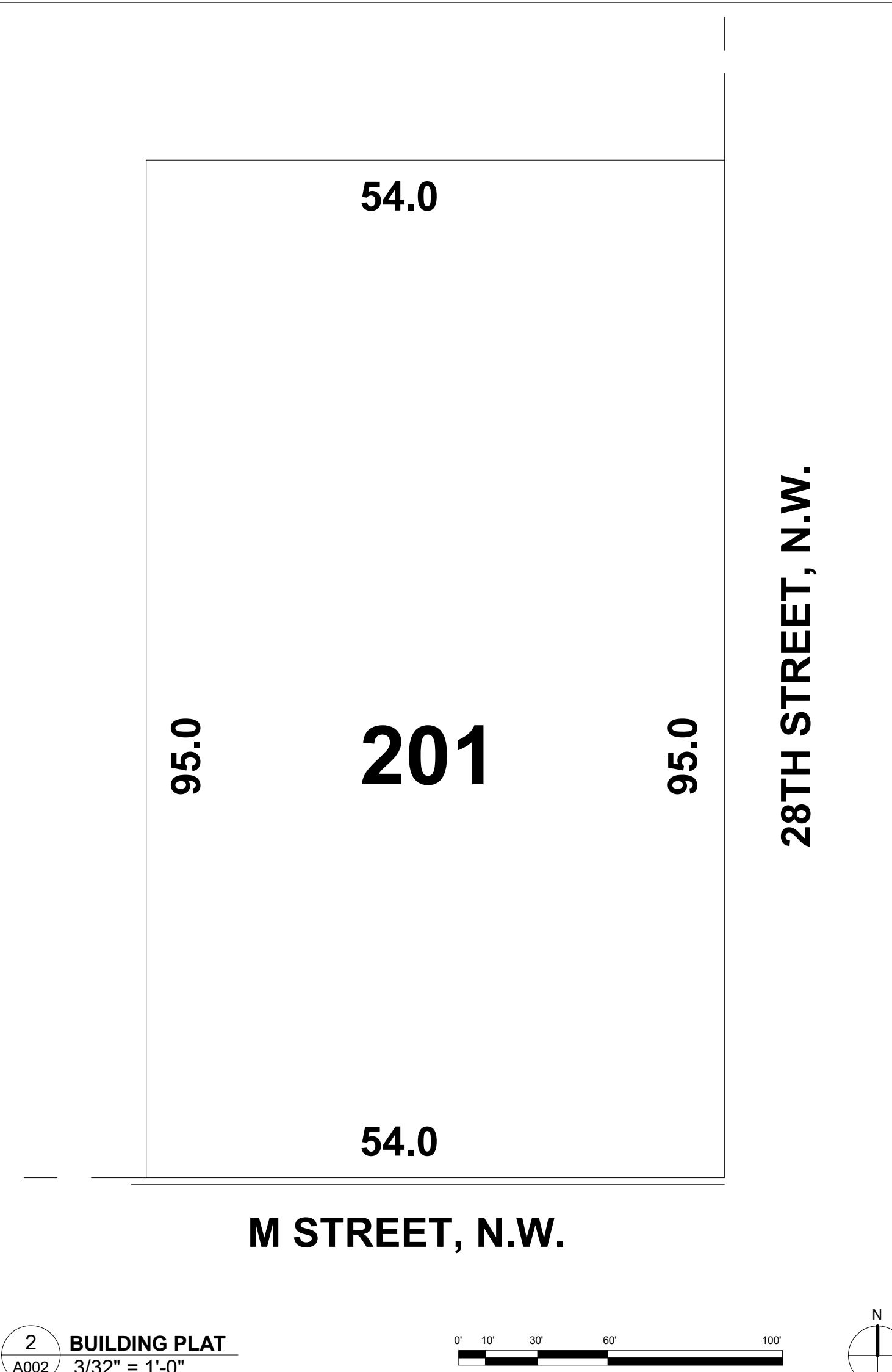
INDEX AND ABBREVIATION, SYMBOLS AND LEGENDS

Professional seal and signature block for Caitlin Mueller, PE, No. 4296, Registered Architect.

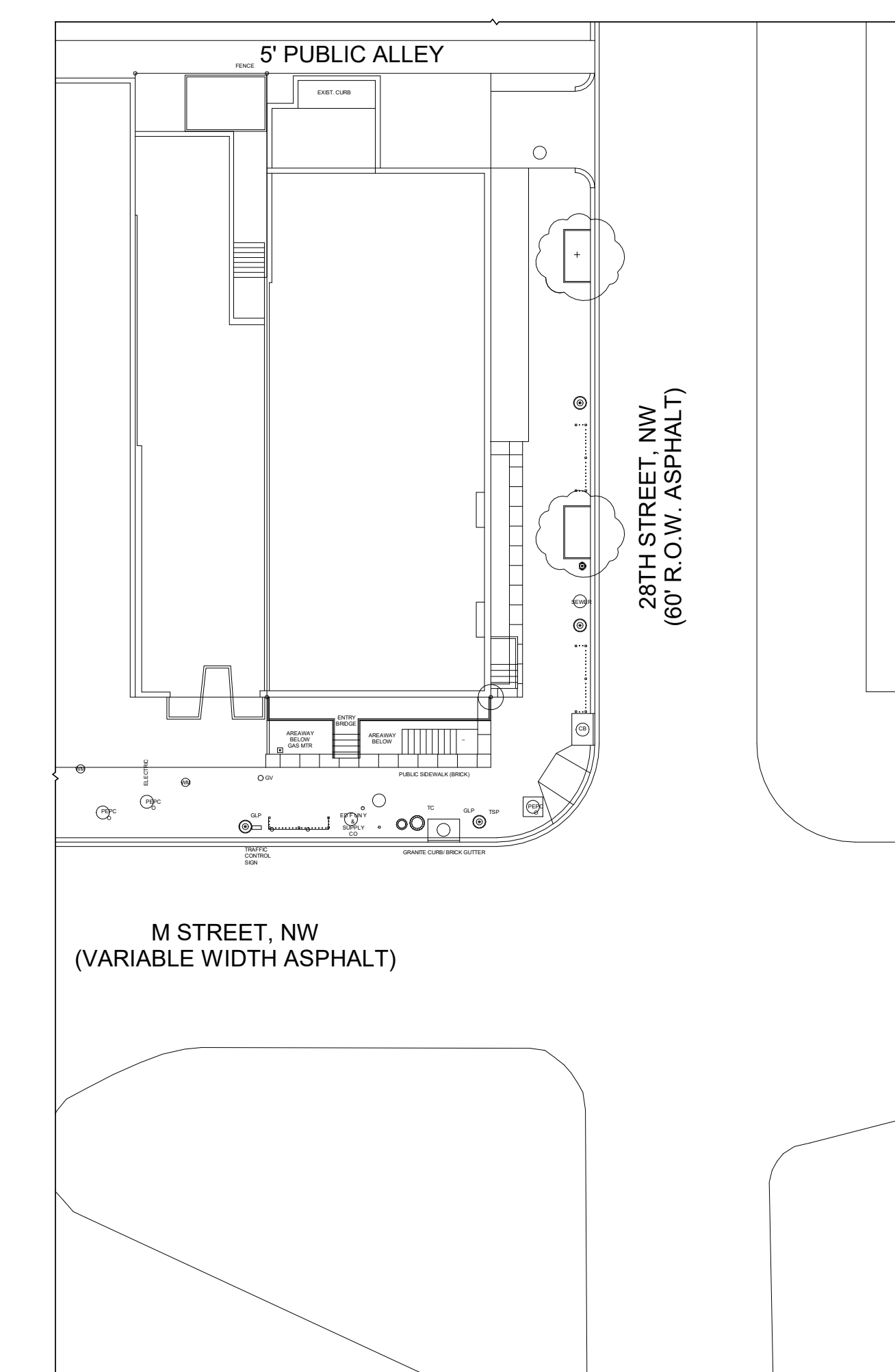
SYMBOLS

Comprehensive symbol legend including GRAPHIC SCALE, View Name, CURTAIN PANEL TAG, DOOR TAG, FLOOR TAG, FURNITURE SYSTEM TAG, FURNITURE TAG, KEYNOTE TAG, MATERIAL TAG, RAILING TAG, REVISION TAG, ROOM TAG, SPECIALITY EQUIPMENT TAG, STAIR TAG, WALL/PARTITION TAG, WINDOW TAG, LEVEL MARKER, SECTION/ELEVATION SPOT LEVEL, SMALL ANNOTATION ARROW, CENTER MARK, CENTER LINE MARK, NORTH ARROW 2, SLOPE SYMBOL, SLOPE LINE (PLAN), and WALL/PARTITION TAG.

BUILDING PLAT



SITE PLAN



OCCUPANCY INFORMATION

Original Address	Bay Reference	Specific Location		Use		Certificate of Occupancy					
		Level	Portion	Current	Proposed	AREA	SQ.FT. PER PERSON	OCCUPANCY LOAD	CoFO #	Date Issued	
2801	#1	Basement	All	Office - B	No Change	2,640	100 SQ.FT.	26	8172760	9/7/95	
			Partial	Office - B		2,640	100 SQ.FT.	26	CO1500318	11/9/14	
		1st	Partial	Office - B	Mercantile - M		2,664	30 SQ.FT.	88	8174297	3/26/96
			Partial	Office - B			2,664	30 SQ.FT.	88	8172760	9/7/95
		2nd	All	Office - B	No Change	1,316	100 SQ.FT.	13	8172760	9/7/95	
2803	#2	Basement	All	Office - B	No Change	2,640	100 SQ.FT.	26	8172760	9/7/95	
			Partial	Office - B		2,640	100 SQ.FT.	26	CO1500318	11/9/14	
		1st	Partial	Office - B	Mercantile - M		2,664	30 SQ.FT.	88	8174297	3/26/96
			Partial	Office - B			2,664	30 SQ.FT.	88	8172760	9/7/95
		2nd	All	Office - B	No Change	1,316	100 SQ.FT.	13	8172760	9/7/95	
2805	#3	Basement	All	Fast Food A-2	No Change		N.I.C.		CO1702540	5/31/17	
			Partial	Gym or Exercise Studio	No Change	3,843	50 SQ.FT.	77	CO1302977	8/22/13	
		2nd	All								

EGRESS INFORMATION

LIFE SAFETY DIAGRAM LEGEND

-----> TRAVEL DISTANCE

UNOCCUPIED AREA N.I.C.

AREA NOT IN SCOPE OF WORK

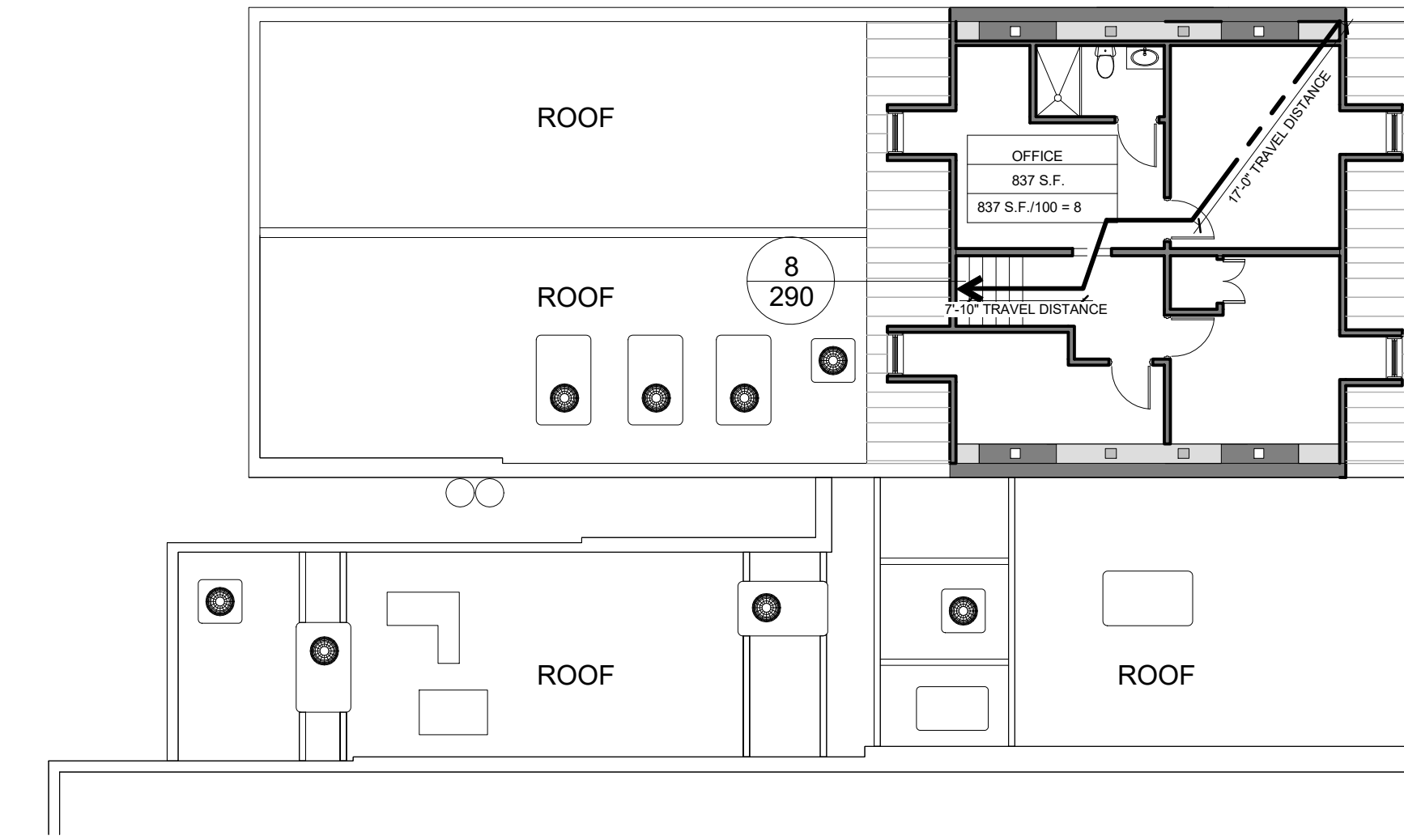
X = # OF OCCUPANTS
Y = EXIT CAPACITY

SPACE NAME
S.F.
S.F./OC XXX

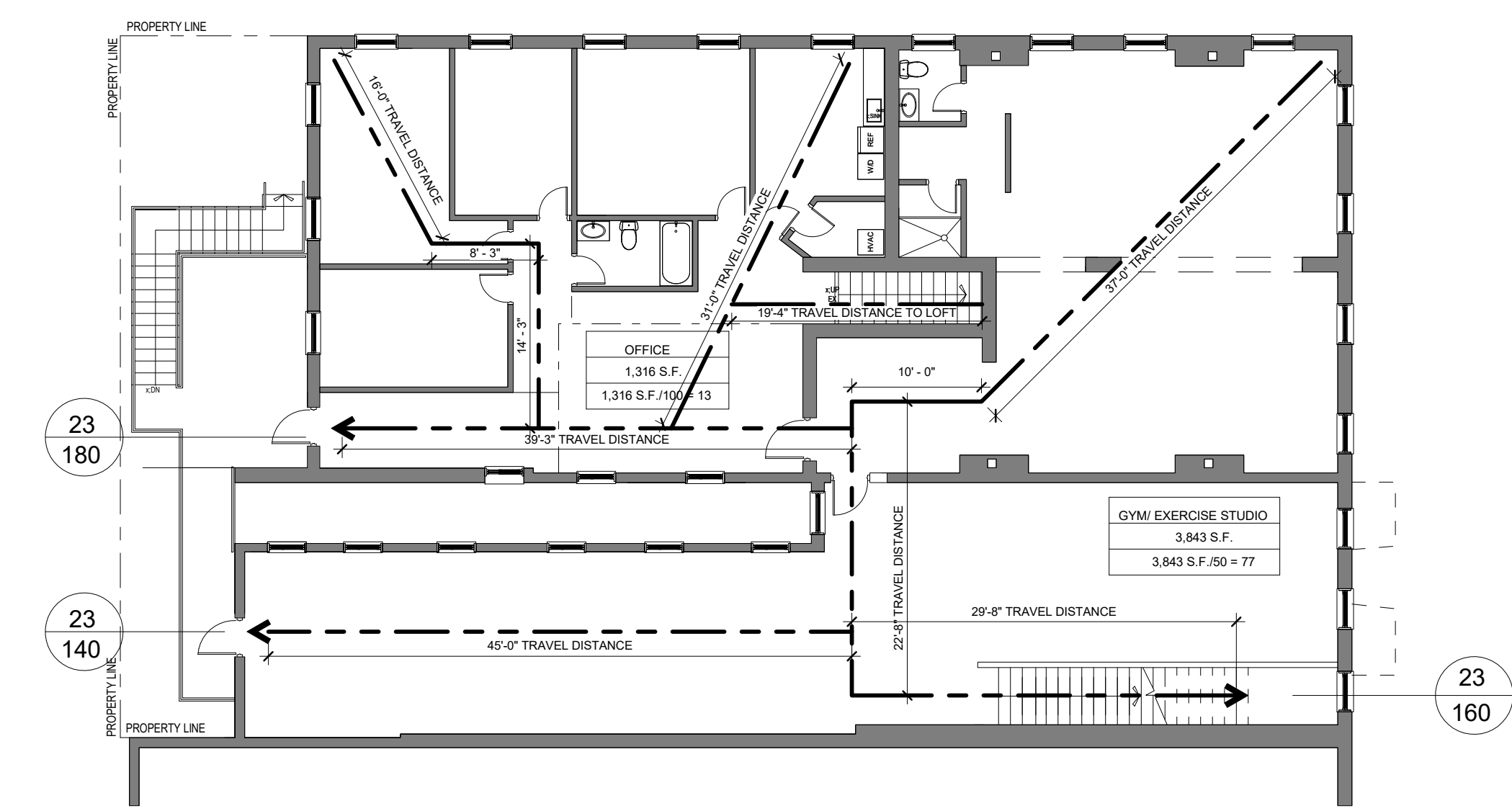
S.F = SQUARE FOOT
OC = OCCUPANCY PER PERSON

FIRE RESISTANCE REQUIREMENTS: TYPE III B

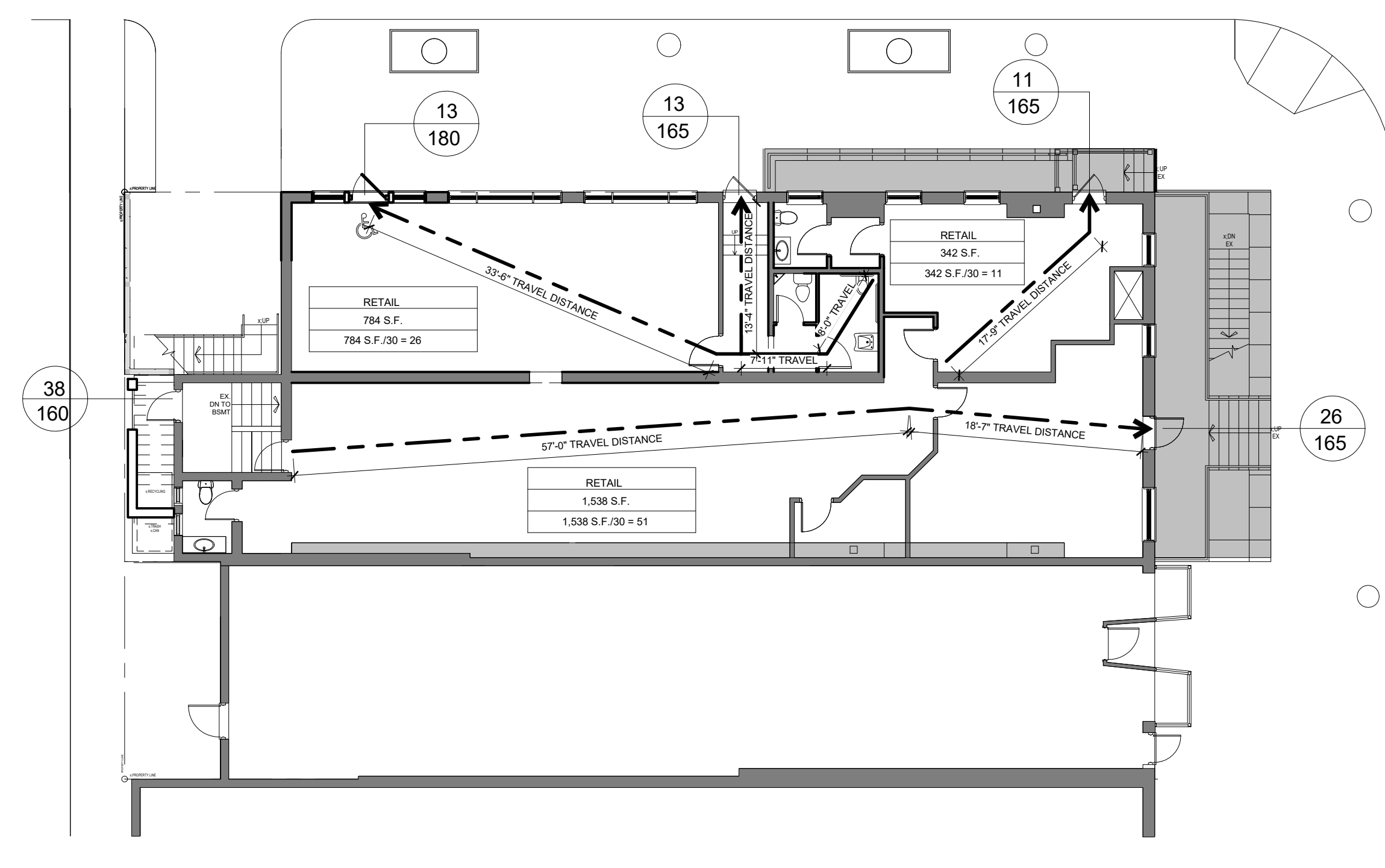
- STRUCTURAL FRAME: 0 HOURS
- BEARING WALLS - EXTERIOR: 2 HOURS
- BEARING WALLS - INTERIORS: 0 HOURS
- NON-BEARING WALLS: 0 HOURS
- FLOOR CONSTRUCTION: 0 HOURS
- ROOF CONSTRUCTION: 0 HOURS
- DEMISING WALL: 0 HOURS



3 LIFE SAFETY PLAN - LOFT
3/32" = 1'-0"



2 LIFE SAFETY PLAN - SECOND FLOOR
3/32" = 1'-0"



1 LIFE SAFETY PLAN - FIRST FLOOR
3/32" = 1'-0"

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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 2007

LIFE SAFETY PLAN

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No:

A003



Existing Side 2801 M St.

Existing wood stair to be removed

Existing side stair to remain, replace broken pickets to match existing

Basement window well area to remain as is



Existing Side/Rear 2805 M St.

The banner and marketing signs removed

Remove bracket sign at the corner



Existing Front/Rear 2805 M St.

OWNER
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 BRIAN FRIEDMAN
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 WASHINGTON, DC 20007
 202-271-4200

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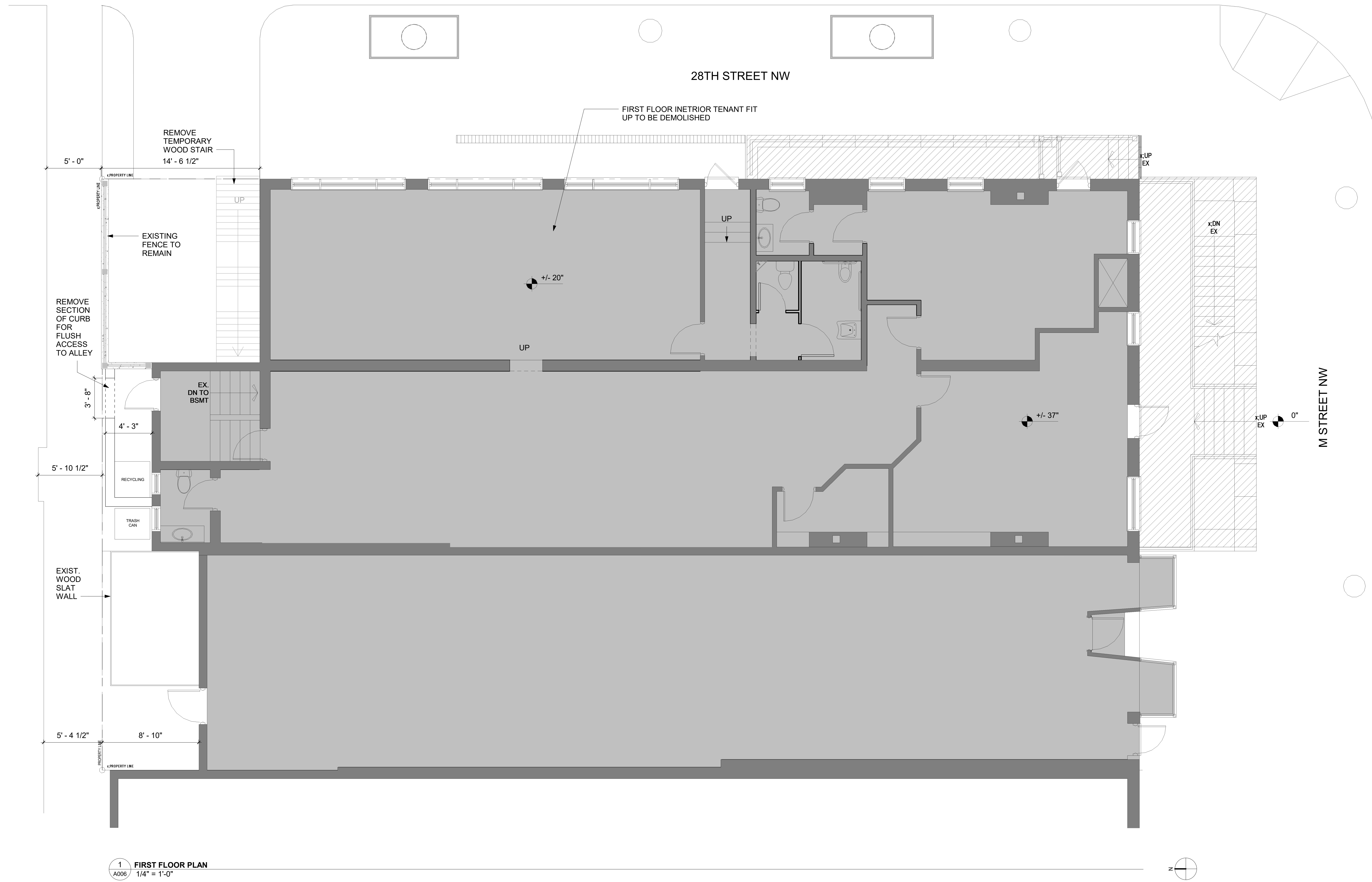
PROJECT
 ALTERATIONS AND REPAIRS
 AT 2805 M ST, NW
 2805 M STREET, NW
 WASHINGTON, DC 2007

EXISTING EXTERIOR IMAGES

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

SEAL & SIGNATURE PROJECT No.: 1123.00
 DWG No.:

A004

EXISTING FIRST FLOOR PLAN



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 ALTERATIONS AND REPAIRS
 AT 2805 M ST, NW
 2805 M STREET, NW
 WASHINGTON, DC 20007

EXISTING FIRST FLOOR PLAN

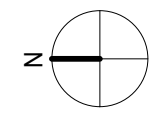
SEAL & SIGNATURE PROJECT No.: 1123.00
 DWG No.:
 PROJECT No.: 1123.00
 DWG No.:
A006

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

EXISTING SECOND FLOOR PLAN



1 EXISTING SECOND FLOOR PLAN
A007 1/4" = 1'-0"



OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

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cmueller@structura-inc.com
240.477.1892

SUBMISSIONS

Date	Description
02.09.2021	BZA APPLICATION

REVISIONS

No.	Date	Description



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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

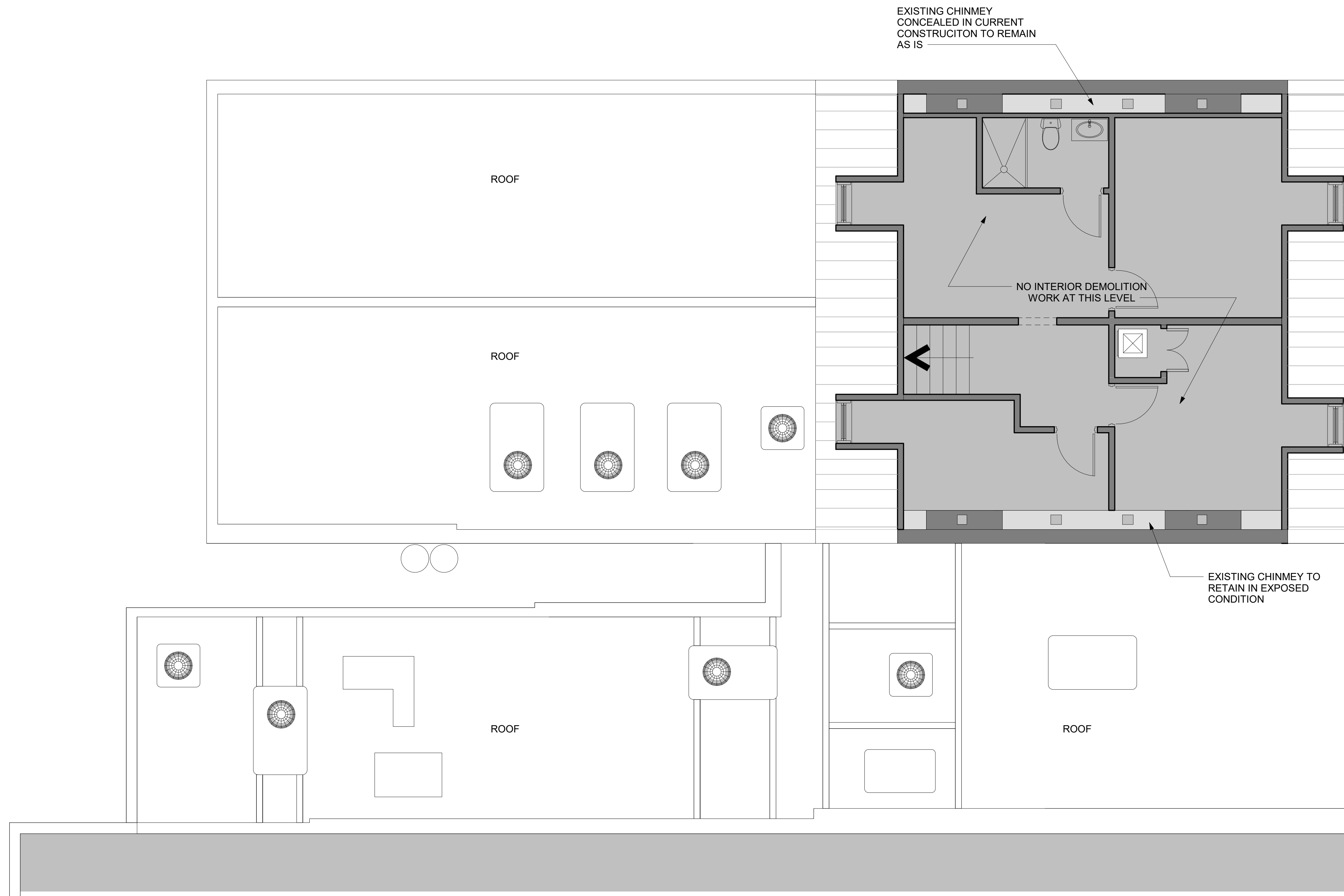
2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING SECOND FLOOR PLAN

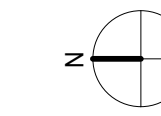
EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

SEAL & SIGNATURE
PROJECT No.: 1123.00
DWG No.:
A007

EXISTING LOFT FLOOR PLAN



1 EXISTING LOFT FLOOR PLAN
A008 1/4" = 1'-0"



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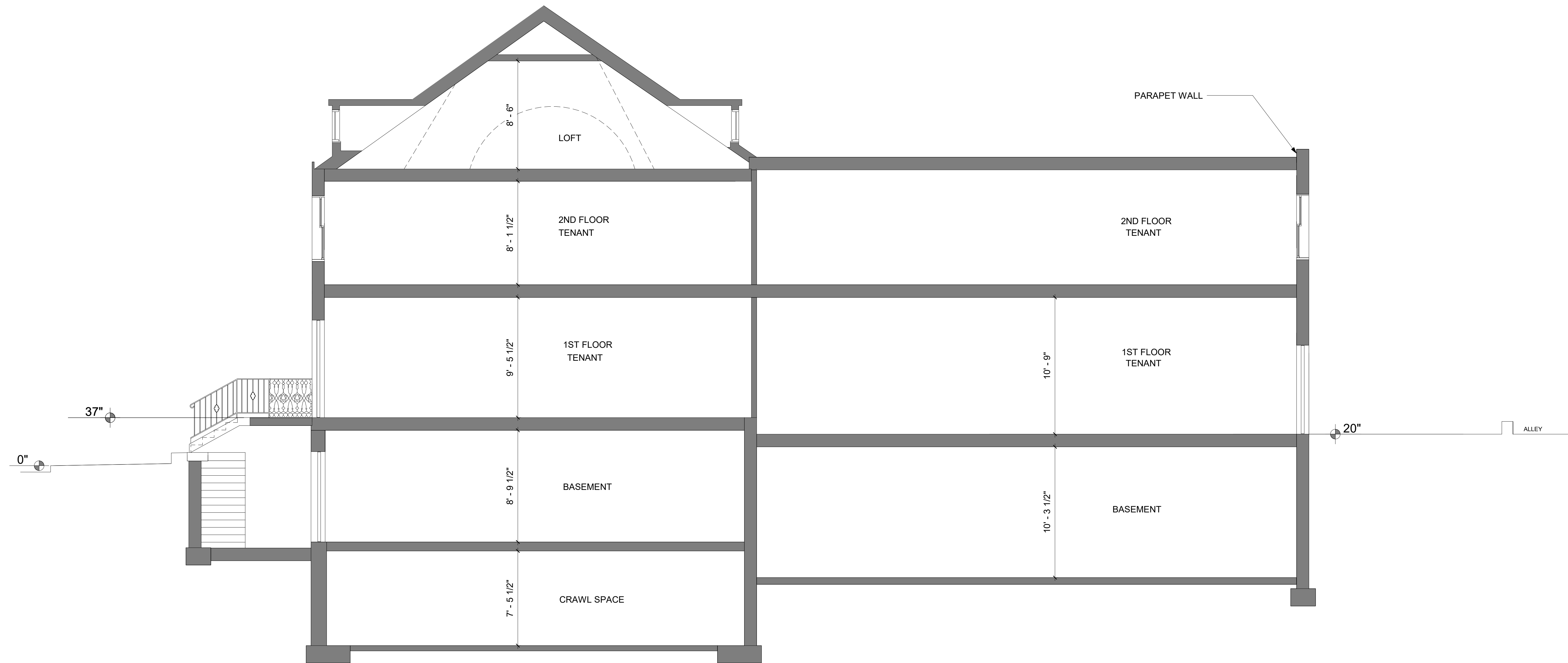
PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING LOFT FLOOR PLAN

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

SEAL & SIGNATURE PROJECT No.: 1123.00
DWG No.:
A008

EXISTING BUILDING SECTION



1
A009 EXISTING EXTERIOR SECTION VIEW
1/4" = 1'-0"

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

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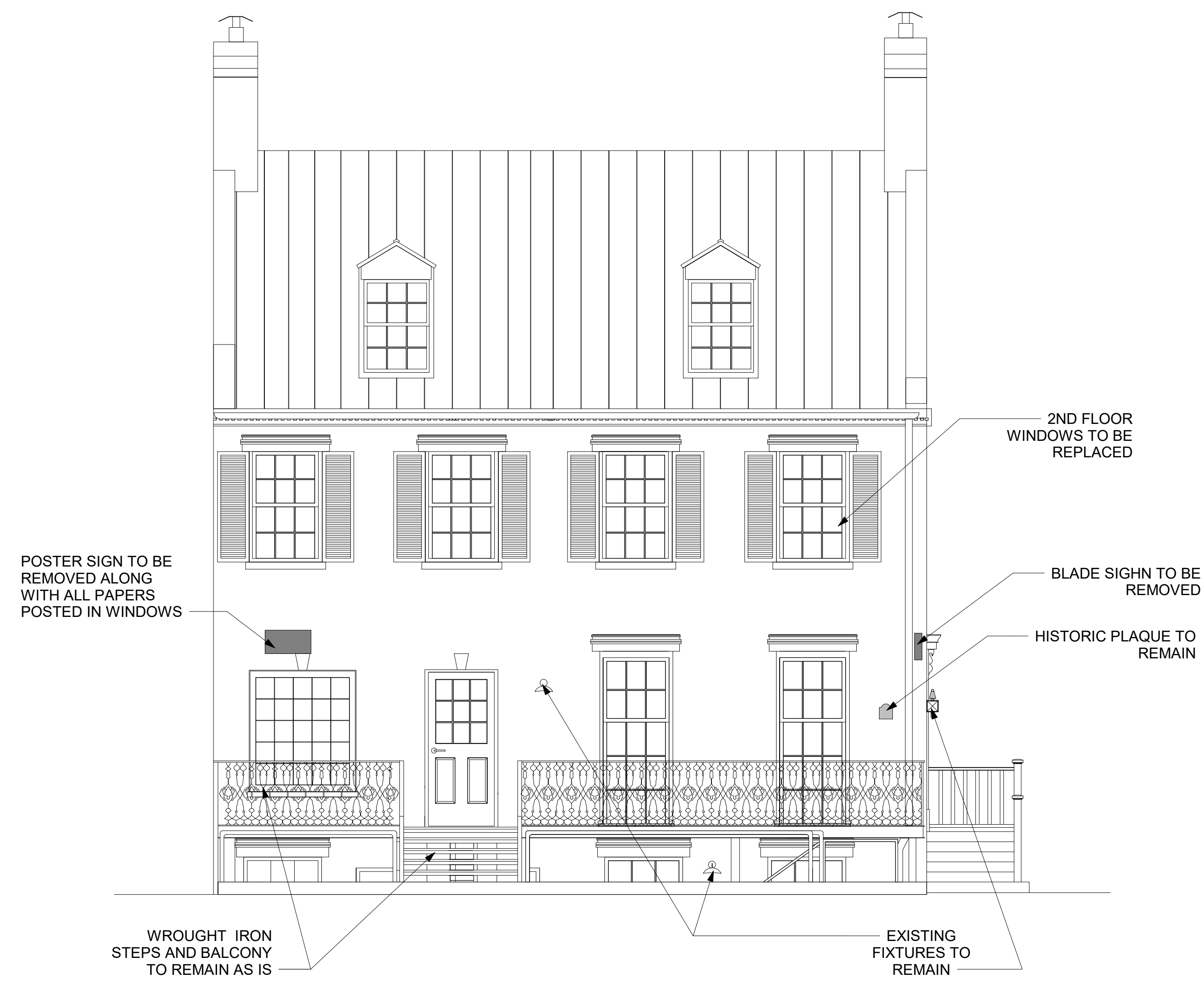
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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

EXISTING BUILDING SECTION

SEAL & SIGNATURE CONTRACT OF COLUMBIA ARCHITECTURE No. 4296 REGISTERED ARCHITECT	PROJECT No.: 1123.00 DWG No.: A009
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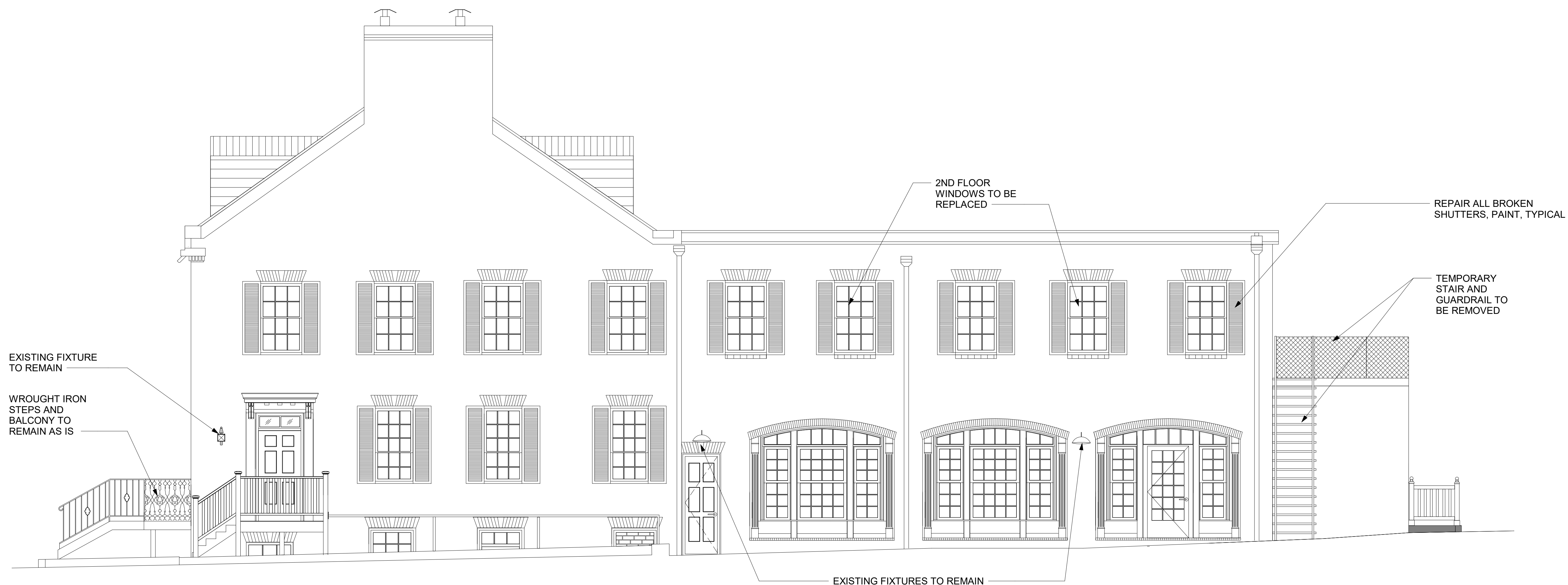
2 EXISTING EXTERIOR FRONT ELEVATION - M ST
 A010 / 1/4" = 1'-0"



1 EXISTING EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY
 A010 / 1/4" = 1'-0"

EXISTING EXTERIOR FRONT ELEVATION - M ST

EXISTING EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY



3 EXISTING EXTERIOR SIDE ELEVATION - 28TH ST
 A010 / 1/4" = 1'-0"

EXISTING EXTERIOR SIDE ELEVATION - 28TH ST

EXISTING CONDITIONS DWG SUBMITTED PER REQUEST OF OGB/ CFA DOES NOT CHANGE SCOPE OF WORK.

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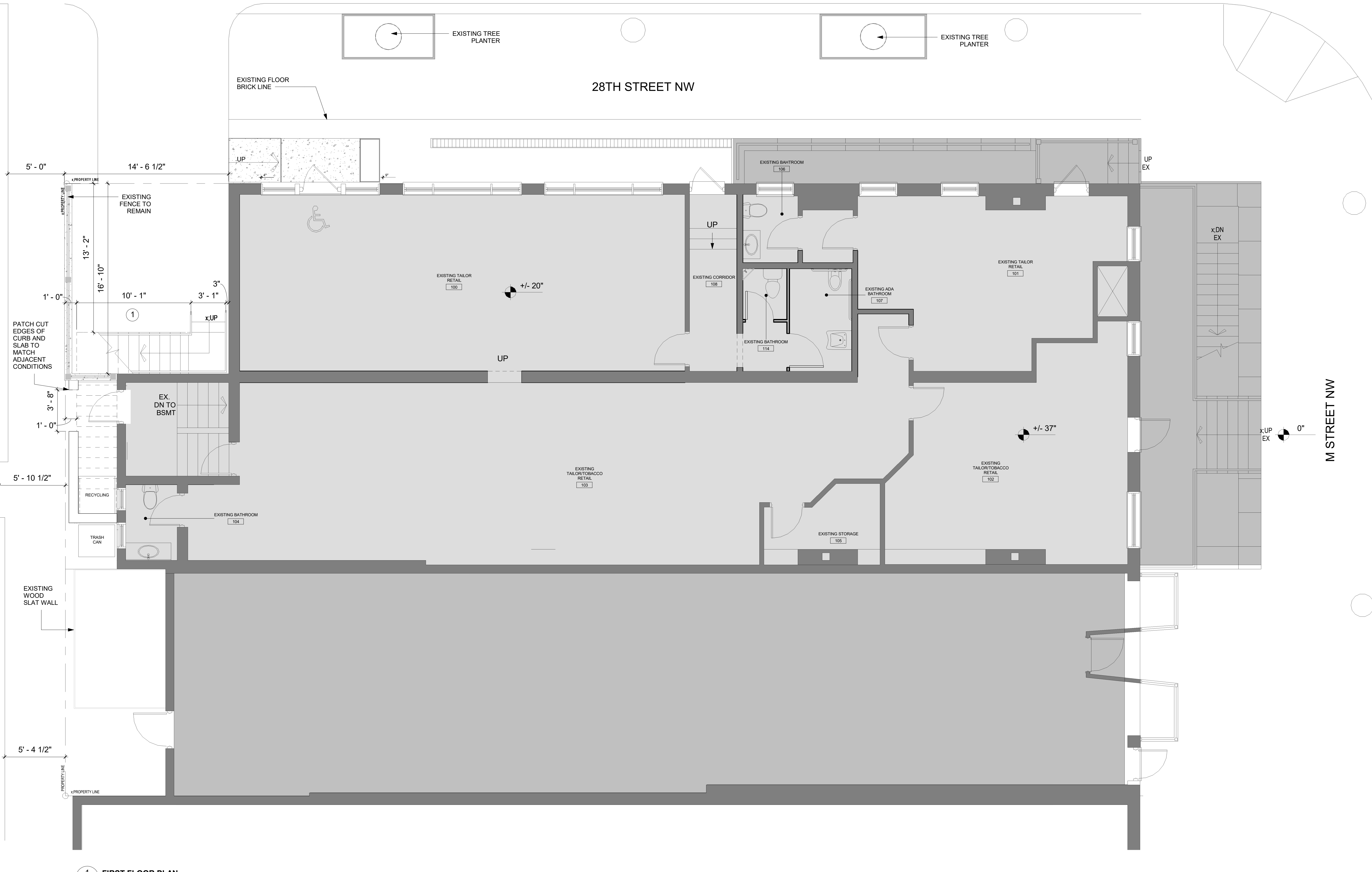
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PROJECT
 ALTERATIONS AND REPAIRS
 AT 2805 M ST. NW
 2805 M STREET, NW
 WASHINGTON, DC 2007

EXISTING EXTERIOR ELEVATIONS

SEAL & SIGNATURE
 PROJECT No.: 1123.00
 DWG No:
 A010

FIRST FLOOR PLAN



1 FIRST FLOOR PLAN
A103 1/4" = 1'-0"

KEY LEGEND:

- AREA OF WORK
- AREA NOT IN SCOPE

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SUBMISSIONS

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02.09.2021	BZA APPLICATION

REVISIONS

No.	Date	Description

CONSTRUCTION - GENERAL NOTES

1. ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
2. G.C. TO PATCH, SPACKLE AND SAND, REPAIR AND PREP ALL EXISTING WALLS AND FLOORS AND PREPARE SURFACE TO RECEIVE NEW FINISHES.
3. G.C. TO COMPLY WITH ALL BUILDING RULES AND REGULATIONS FOR NEW CONSTRUCTION.
4. G.C. TO VERIFY ALL EXISTING CONDITIONS AND CONFIRM WITH ARCHITECT LOCATIONS OF ALL CHALK LINES PRIOR TO ANY CONSTRUCTION.
5. G.C. TO CONSULT WITH ARCHITECT PRIOR TO INSTALLATION OF FIRE SIGNALING DEVICES.
6. MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
7. DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
8. LOCATE DOORS 4" FROM FACE TO INSIDE CORNER OF PARTITION TO DOOR AND 8" FROM OUTSIDE CORNER OF PARTITION TO DOOR, U.O.N. LOCATED DOORS WITH CLOSERS NO LESS THAN 1'-6" TO EDGE OF DOOR AT PULL SIDE AND 1'-0" TO EDGE OF DOOR AT PUSH-SIDE.
9. VERIFY DIMENSIONS NOTED "CLEAR", "HOLD", "MIN", OR "V.I.F." NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
10. FIRESAFE ALL FLOOR OPENINGS AS REQUIRED. WHERE PENETRATIONS OCCUR AT RATED ENCLOSURES MAINTAIN CONTINUITY OF RATING AS REQUIRED.
11. REFER TO MEP DRAWINGS FOR ALL POWER/COMMUNICATION, HVAC AND LIGHTING SPECS.
12. G.C. TO THOROUGHLY CLEAN EXISTING AREAS, AND FILL AND REPAIR ALL DAMAGED AREAS AS REQUIRED.

CONSTRUCTION PLAN NOTES

- ① INSTALL NEW EGRESS STAIR (PER PRIOR CFA APPROVAL, DATED 06/21/19). (REFER TO STRUCTURAL DRAWINGS FOR SPECIFICATIONS).
- ② INSTALL NEW WINDOWS (PER PRIOR CFA APPROVAL, DATED 06/21/19).
- ③ REPLACE PLUMBING FIXTURES AT RESTROOMS IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
- ④ REPLACE EXISTING LIGHTING AND DEVICES (RECEPTACLES, SWITCHES, ETC.) IN EXISTING LOCATIONS IN KIND. (REFER TO MEP DRAWINGS FOR SPECIFICATIONS).
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- ⑥ PERFORM STRUCTURAL MODIFICATIONS DUE TO PARTIAL CHANGE OF USE (OFFICE TO RETAIL). (REFER TO STRUCTURAL DRAWINGS).
- ⑦ PROVIDE SECURITY ALARM UPGRADES. (REFER TO MEP DRAWINGS).
- ⑧ REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.

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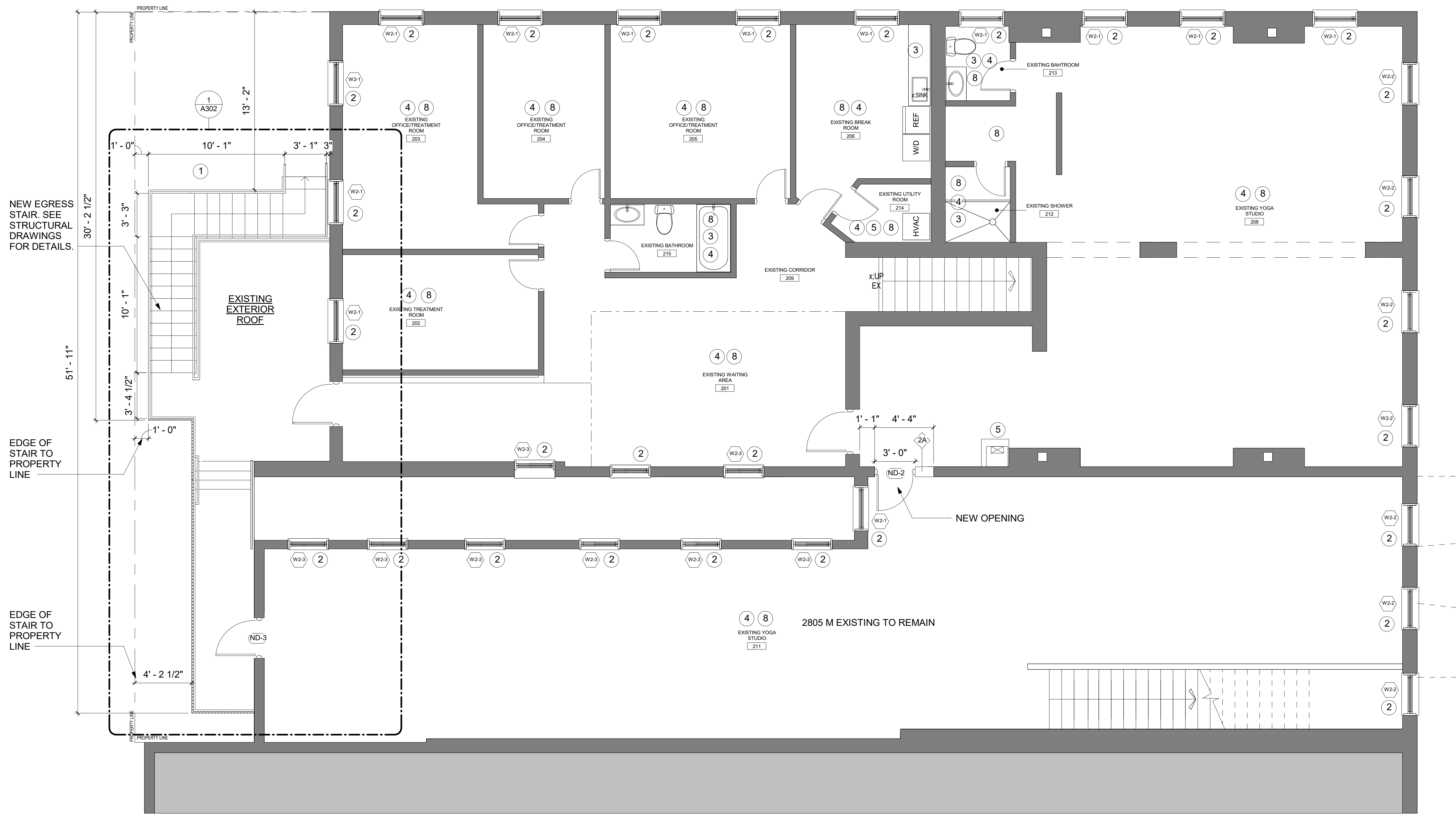
PROJECT
 ALTERATIONS AND REPAIRS
 AT 2805 M ST. NW
 2805 M STREET, NW
 WASHINGTON, DC 2007

FIRST FLOOR PLAN

SEAL & SIGNATURE
 PROJECT No.: 1123.00
 DWG No:

A103

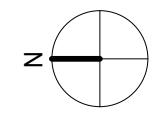
SECOND FLOOR PLAN



KEY LEGEND:

	AREA OF WORK
	AREA NOT IN SCOPE

1 CONSTRUCTION - SECOND FLOOR PLAN
A104 1/4" = 1'-0"



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SUBMISSIONS

Date	Description
02.09.2021	BZA APPLICATION

REVISIONS

No.	Date	Description

CONSTRUCTION - GENERAL NOTES

- ALL DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
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- MAINTAIN A MIN. OF 44" CLEARANCE AT EGRESS CORRIDORS.
- DIMENSIONS AND ALIGNMENTS ARE FROM FACE TO FINISH TO FACE OF FINISH. PROVIDE FURRING AS REQUIRED TO ACHIEVE ALIGNMENTS SHOWN.
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CONSTRUCTION PLAN NOTES

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- REINSTALL DRYWALL AND INSULATION AT EXISTING FRAMING DUE TO PRIOR REPAIRS AND MOLD ABATEMENT.



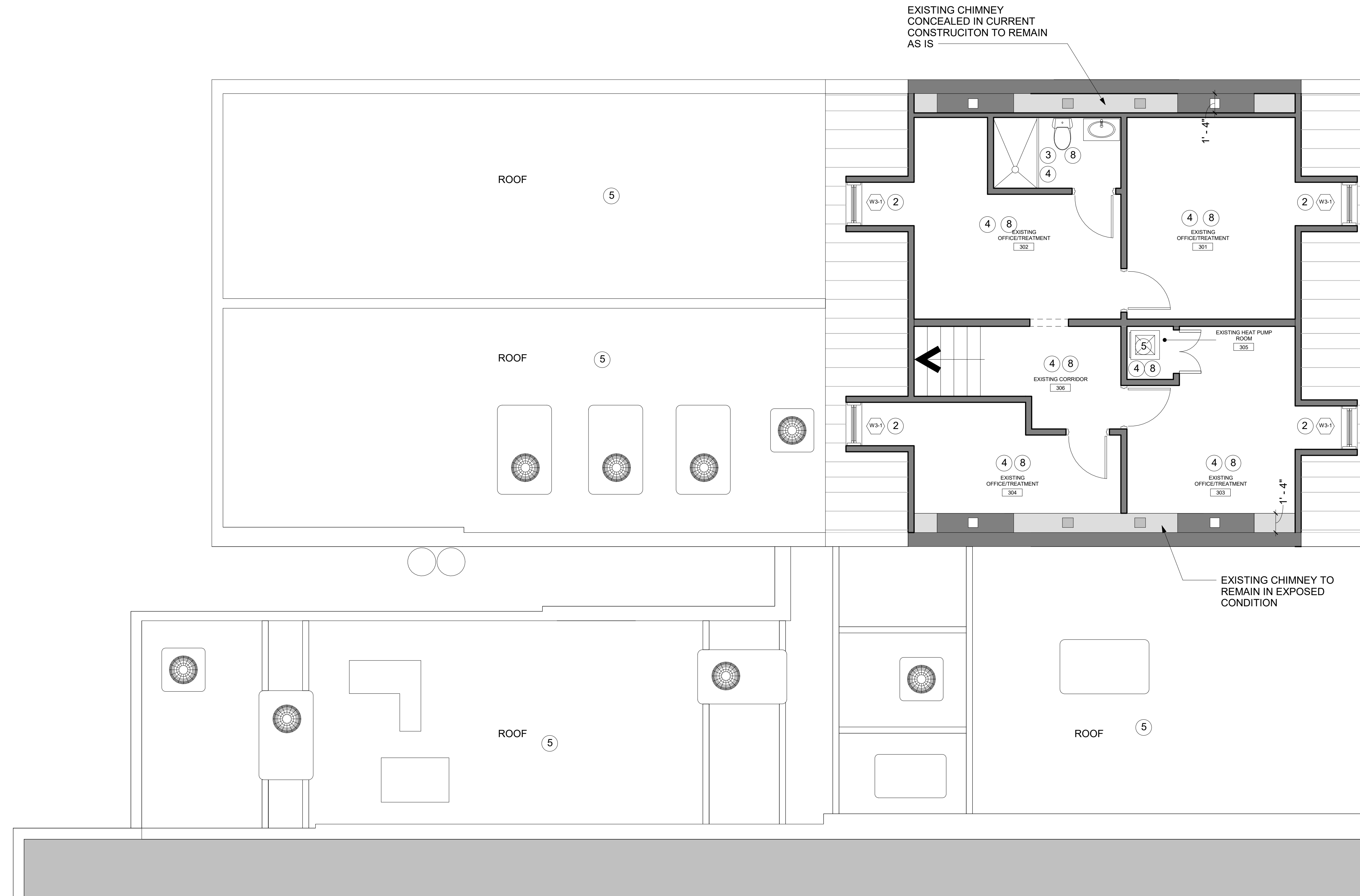
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PROJECT
ALTERATIONS AND REPAIRS
AT 2805 M ST, NW
2805 M STREET, NW
WASHINGTON, DC 2007

SECOND FLOOR PLAN

SEAL & SIGNATURE
PROJECT No.: 1123.00
DWG No.:
A104

LOFT FLOOR PLAN



KEY LEGEND:

◻ AREA OF WORK

■ AREA NOT IN SCOPE

1 CONSTRUCTION - LOFT FLOOR PLAN
1/4" = 1'-0"

CONSTRUCTION - GENERAL NOTES

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 AT 2805 M ST, NW

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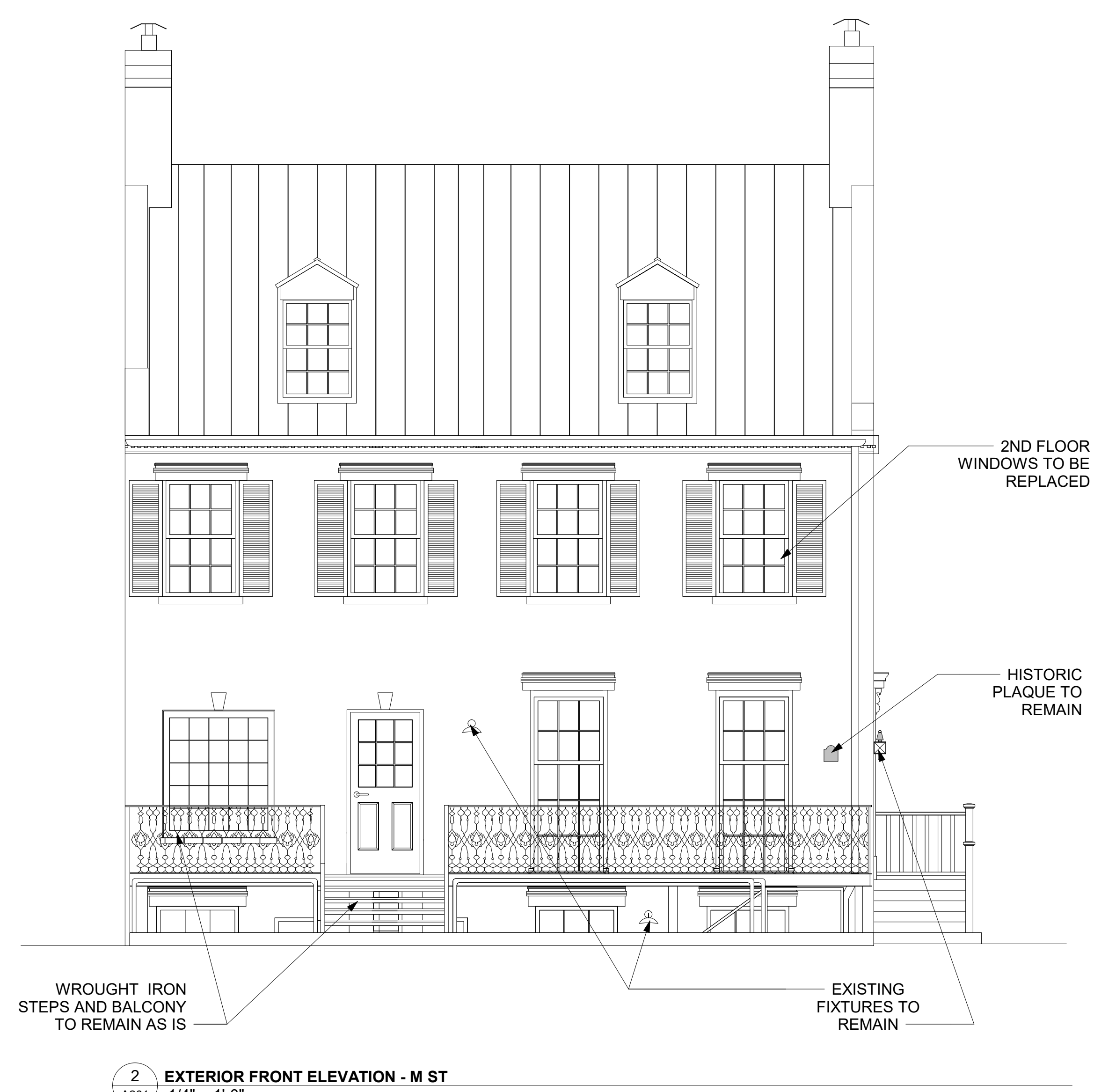
LOFT PLAN

SEAL & SIGNATURE

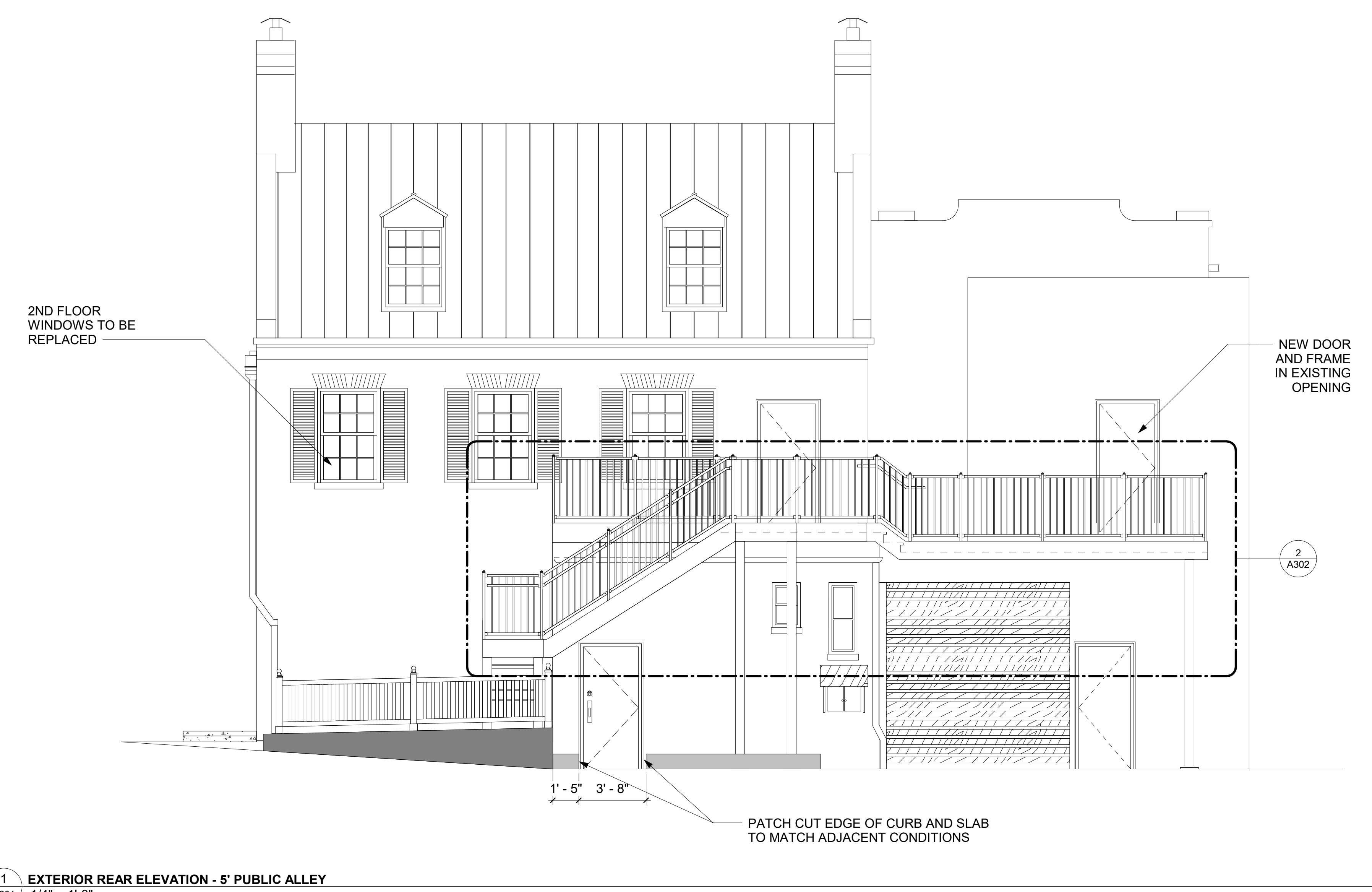
PROJECT No.: 1123.00
 DWG No: A105

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2
A201 **EXTERIOR FRONT ELEVATION - M ST**
1/4" = 1'-0"



1
A201 **EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY**
1/4" = 1'-0"

EXTERIOR FRONT ELEVATION - M ST

EXTERIOR REAR ELEVATION - 5' PUBLIC ALLEY

EXTERIOR FINISH SCHEDULE

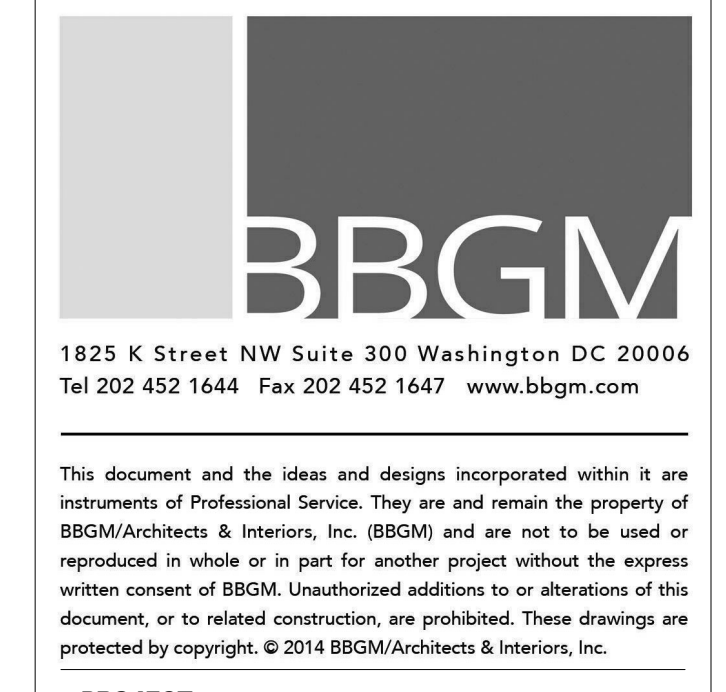
PAINT	APPLICATION
DECORATOR'S WHITE: OC-149	BRICK
METROPOLITAN: AF-690	WINDOWS
KENDALL CHARCOAL: HC-166	SHUTTERS
BLACK IRON: 2120	BALCONY
OLD NAVY: 2063-10	DOORS

SUBMISSIONS

Date	Description
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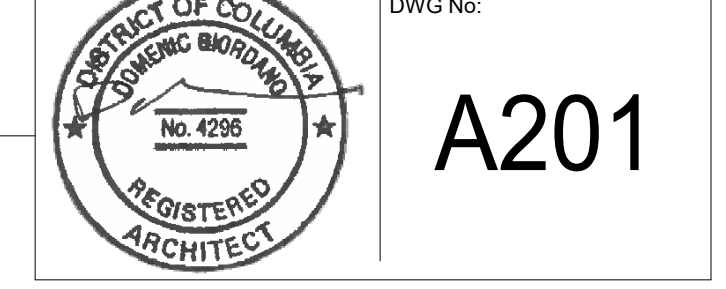
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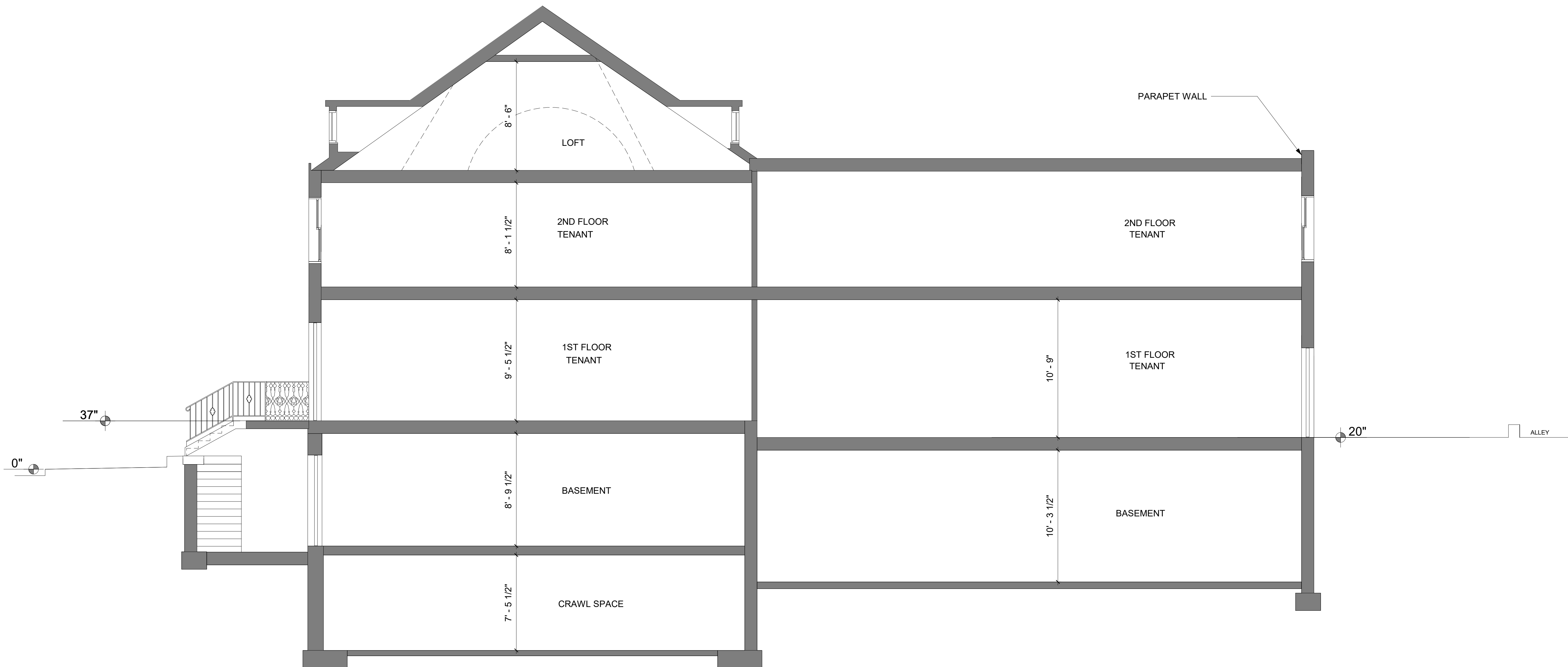
EXTERIOR ELEVATIONS



3
A201 **EXTERIOR SIDE ELEVATION - 28TH ST**
1/4" = 1'-0"

EXTERIOR SIDE ELEVATION - 28TH ST

BUILDING SECTION - 28TH ST



1 EXISTING EXTERIOR SECTION
 A301 1/4" = 1'-0"

OWNER
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SUBMISSIONS

Date	Description
02.09.2021	BZA APPLICATION

REVISIONS

No.	Date	Description

BBGM
 1825 K Street NW Suite 300 Washington DC 20006
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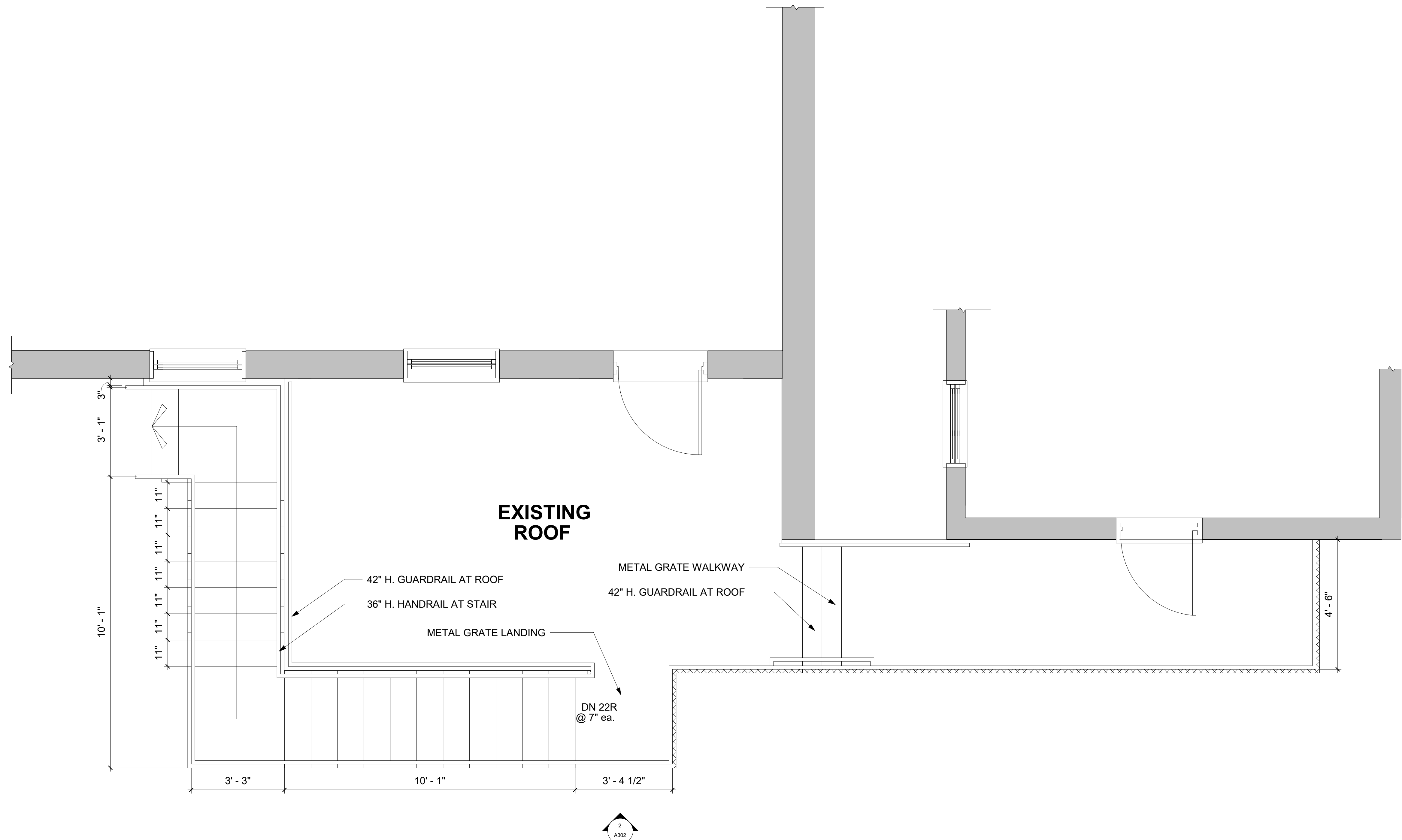
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PROJECT
 ALTERATIONS AND REPAIRS
 AT 2805 M ST, NW
 2805 M STREET, NW
 WASHINGTON, DC 2007

EXTERIOR ELEVATIONS AND SECTIONS

SEAL & SIGNATURE PROJECT No.: 1123.00
 DWG No: A301

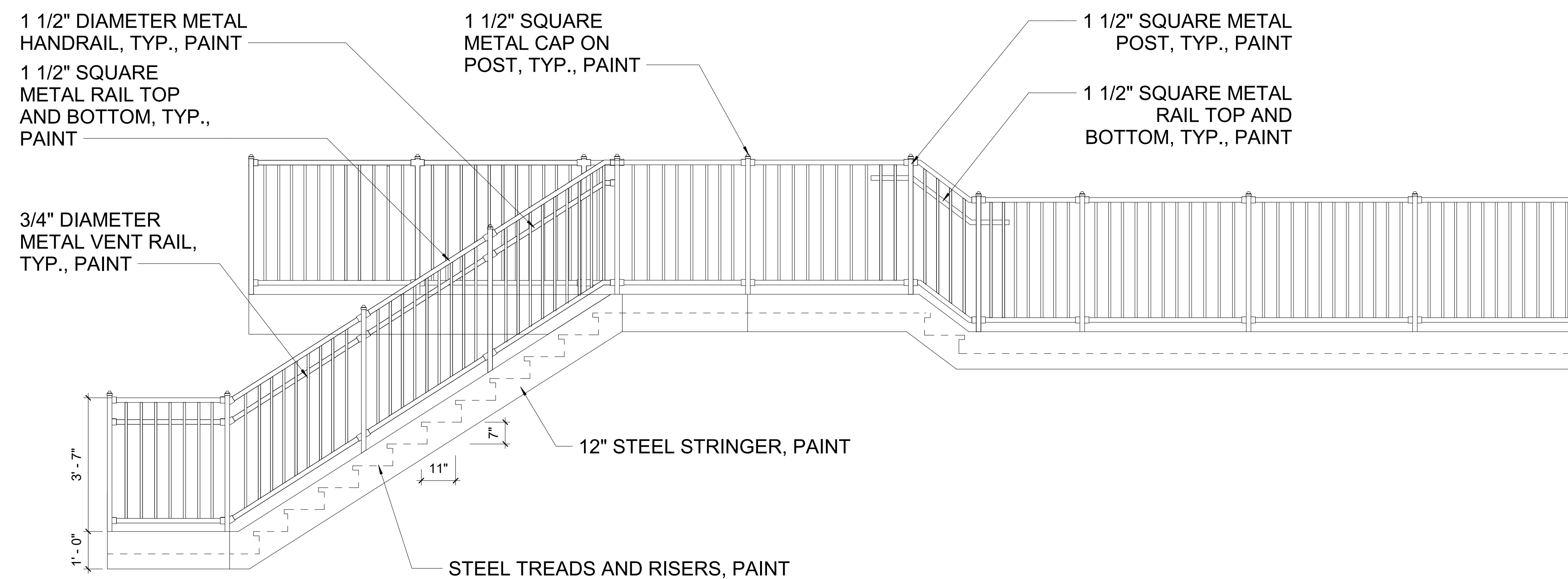
EXTERIOR EGRESS STAIR PLAN



NOTE: PLEASE REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND MEASUREMENTS

1 NEW EGRESS STAIRS - TOP VIEW
A302 1/2" = 1'-0"

EXTERIOR DETAILS - EGRESS STAIR



NOTE: PLEASE REFER TO STRUCTURAL DRAWINGS FOR DETAILS AND MEASUREMENTS

2 EXTERIOR EGRESS STAIR SECTION
A302 1/2" = 1'-0"

OWNER
2805 BOND ST. EQUITIES, LLC
BRIAN FRIEDMAN
2805 M STREET, NW
WASHINGTON, DC 20007
202-271-4200

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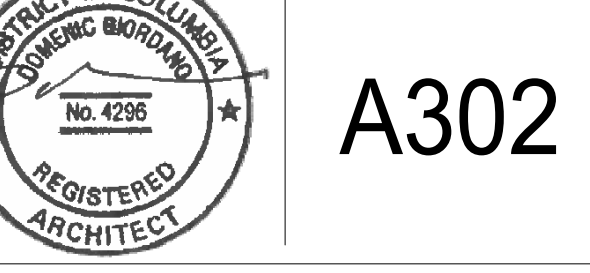
PROJECT

ALTERATIONS AND REPAIRS
AT 2805 M ST, NW

2805 M STREET, NW
WASHINGTON, DC 20007

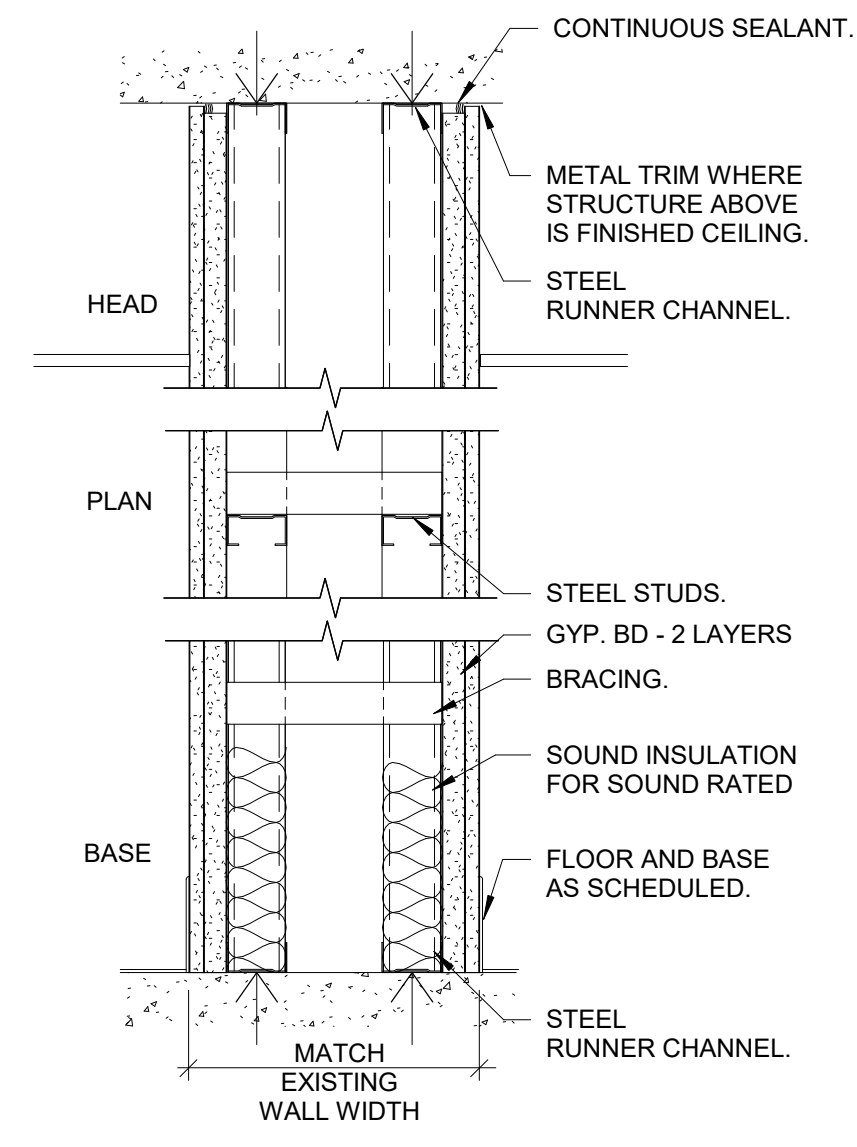
EXTERIOR ELEVATIONS AND SECTIONS

PROJECT No.: 1123.00
DWG No:



A302

PARTITION TYPES



2A NO RATING
1-5/8" STUDS, 1 LAYER OF GYP. BD. EACH SIDE, STEEL STUD OR GYP. BD. BRACING.

DOOR SCHEDULE

DOOR NUMBER	LOCATION	DOOR SIZE	CONST. TYPE	FINISH TYPE	FRAME	HDWR GROUP
ND-2	2ND FLOOR	2'-8" X 7'-0"	HM	PT	HM	2
ND-3	2ND FLOOR	2'-8" X 7'-0"	HM	PT	HM	1

HARDWARE SCHEDULE

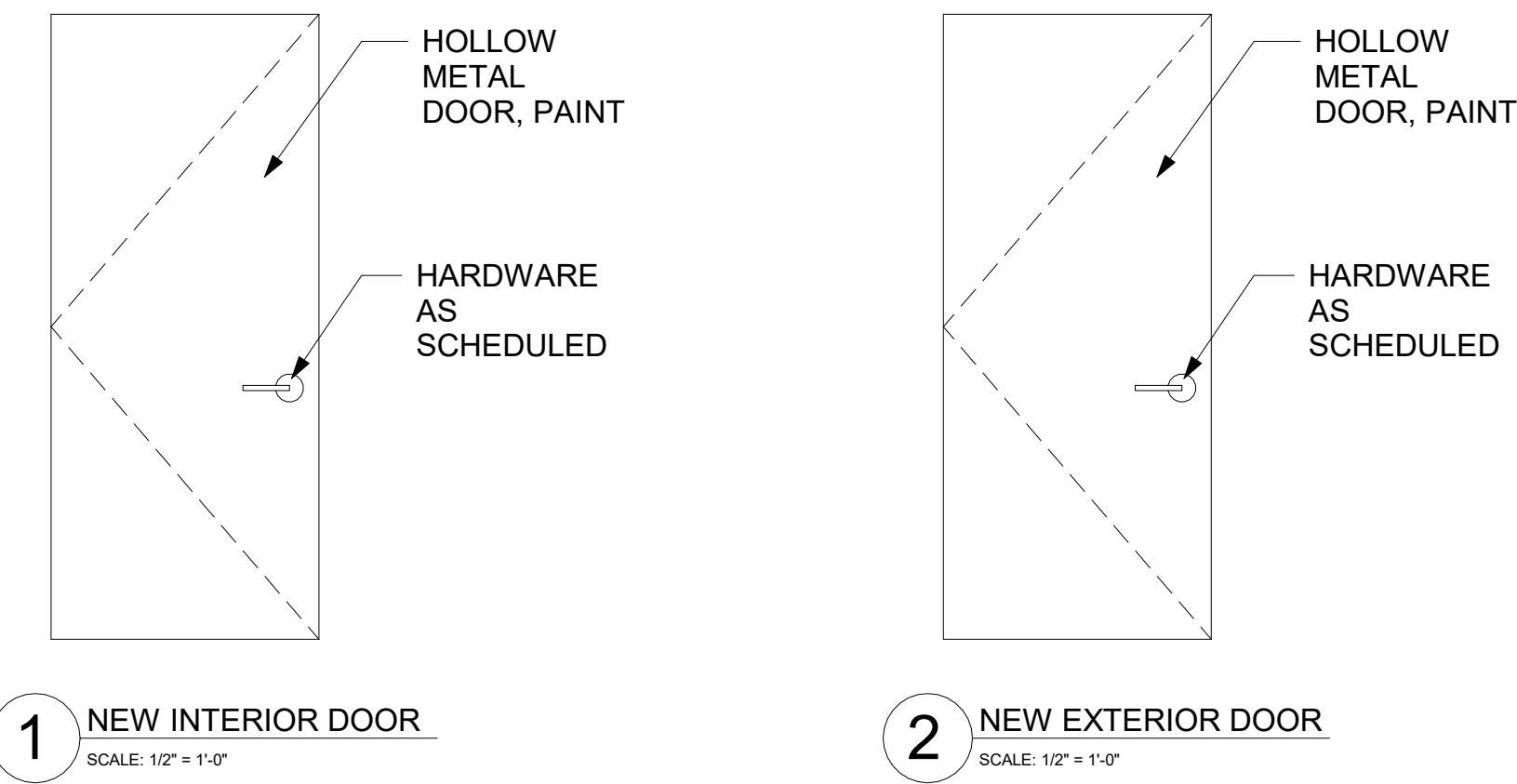
HARDWARE SET	HINGES	CLOSER	LEVER	NOTES
1	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFBB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Entry, Reversible, SAT Style Handle, Schiage "SC 4", UL 10C, ANSI Grade 2 86525	
2	Harney Hardware Hinge, Standard Weight, Ball Bearing, 4 1/2" X 4 1/2" HHFBB17910B	Harney Hardware Universal, UL 10C, ANSI Grade 1, Spring 1-4 DC8900DU	Harney Hardware Lock Lever, Privacy, Reversible, SAT Style Handle, UL 10C, ANSI Grade 2 86528	1 HOUR RATED

WINDOW SCHEDULE

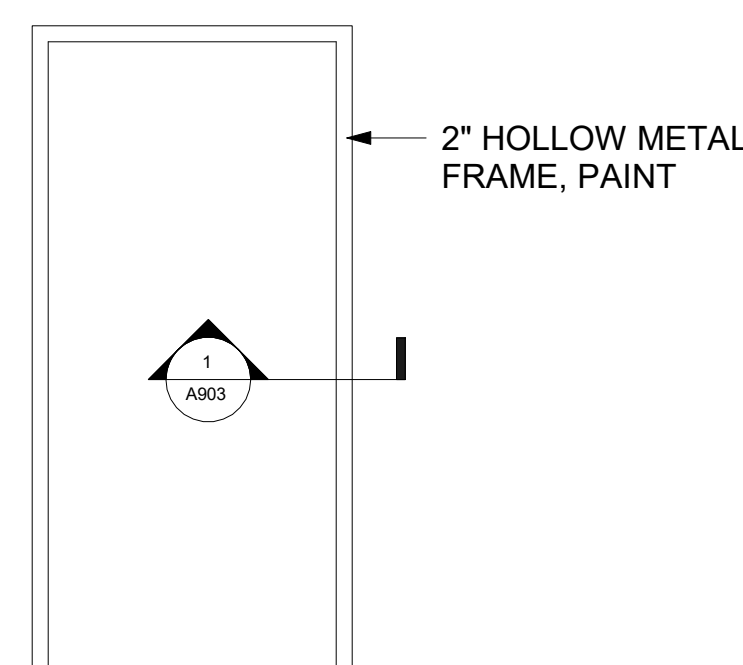
WINDOW NUMBER	LOCATION	WINDOW SIZE	MATERIAL	FINISH TYPE	GLASS TYPE	WINDOW TYPE
W2-1	2ND FLOOR	3'-1" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W2-2	2ND FLOOR	2'-10" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W2-3	2ND FLOOR	2'-9" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG
W3-1	LOFT FLOOR	2'-7" X 5'-2"	WD	PT	SINGLE GLAZED DBL HUNG	DOUBLE HUNG

NOTE: GC TO FIELD VERIFY THE NEW WINDOW OPENINGS BEFORE PURCHASING ANY MATERIALS.

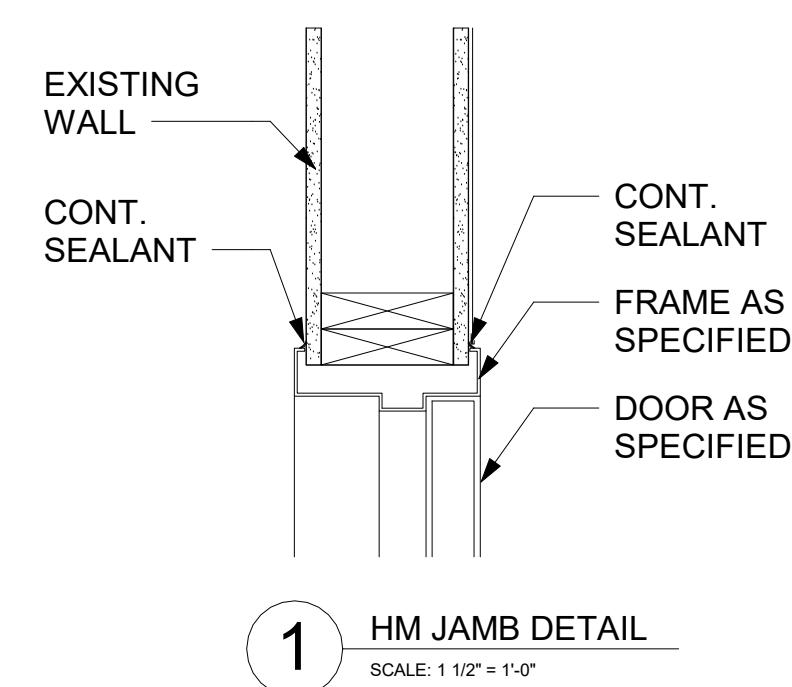
DOOR TYPE



DOOR FRAME



FRAME DETAIL



GENERAL NOTES - DOOR & HDWR

- DOORS THAT ARE NOT LABELED ARE EXISTING TO REMAIN.
- FIELD VERIFY ALL OPENINGS, DIMENSIONS AND CONDITIONS AFFECTING WORK PRIOR TO ORDERING AND/OR INSTALLING
- ALL WINDOWS SHALL BE CAULKED (ALL EDGES) W/ SILICONE SEALANT TO MATCH WINDOW COLOR.
- UNLATCHING FORCE SHALL NOT EXCEED 15 LBS. IN THE DIRECTION OF TRAVEL.
- THRESHOLDS SHALL NOT EXCEED 1/2" IN HGT. AND SHALL HAVE BEVELED SIDES THAT SLOPE 1:2 MAXIMUM.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- ALL DOORS TO BE SELF CLOSING U.N.O.

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WASHINGTON, DC 2007

WALL PARTITION SCHEDULE, HARDWARE SCHEDULE AND DETAIL

SEAL & SIGNATURE: [Signature of Caitlin Mueller]

PROJECT OF COLUMBIA UNIVERSITY

REGISTERED ARCHITECT

PROJECT No.: 1123.00
DWG No.: A903